

# SALMON STREET TOWNHOUSES

2656-70 SALMON ST  
PHILADELPHIA, PA 19125



ARCHITECTURAL & SYSTEMS

FOR CONSTRUCTION

09/11/20



ARCHITECTS

5312 RIDGE AVE PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

**PROJECT NAME**  
SALMON STREET TOWNHOUSES  
2656-70 SALMON ST  
PHILADELPHIA, PA 19125

**PROJECT TEAM**  
**OWNER**  
KIDDNA, LLC  
1516 N 5TH ST, STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

**STRUCTURAL**  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

**SYSTEMS**  
BHG CONSULTING, INC  
1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

**CIVIL ENGINEER**  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

**CONTRACTOR ACKNOWLEDGEMENT:**

By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that:  
(a) it has thoroughly reviewed all of the project drawings, specifications and existing conditions to obtain the information necessary for performance of its work scope;  
(b) it has verified that the information used is accurate and complete;  
(c) it will report any inaccurate or incomplete information to the project architect immediately upon becoming aware of the error or omission; and  
(d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information used.

**Note:**

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to finalizing their bids.

**SEAL:**



**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**

COVER SHEET

SCALE:	DRAWN BY: CR
DATE: 09/11/20	CHECKED BY: DP

**SHEET NO.**

G0.0

PROJECT NO. 1915



CODE SUMMARY	
BUILDING CODE	IRC 2018
CONSTRUCTION CLASSIFICATION	TYPE VB
PRIMARY USE GROUP	RESIDENTIAL
HEIGHT	38'-6"
AREA	TOWN HOUSE : 1875 SF (EACH) CARRIAGE HOUSE : 1705 SF (EACH)
AREA MODIFICATIONS	
SPRINKLER INCREASE	N/A
FRONTAGE INCREASE	N/A

**JURISDICTION:**  
CITY: PHILADELPHIA, PENNSYLVANIA  
ADDRESS: DEPARTMENT OF LICENSES AND INSPECTIONS  
1401 JOHN F. KENNEDY BOULEVARD  
PHILADELPHIA, PA 19102  
(215) 686-8686  
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**LISTING OF APPLICABLE CODES**

**PHILADELPHIA CODE**  
THE PHILADELPHIA ADMINISTRATIVE CODE  
PHILADELPHIA BUILDING CODE  
PHILADELPHIA MECHANICAL CODE  
PHILADELPHIA ELECTRICAL CODE  
PHILADELPHIA PERFORMANCE CODE  
PHILADELPHIA ENERGY CONSERVATION CODE  
PHILADELPHIA FIRE CODE  
PHILADELPHIA FUEL GAS CODE  
PHILADELPHIA ZONING CODE  
PHILADELPHIA PLUMBING CODE

**INTERNATIONAL CODE COUNCIL**  
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)  
2018 INTERNATIONAL BUILDING CODE (IBC)  
2018 INTERNATIONAL BUILDING CODE (APPENDIX E)  
2018 ICC A117.1  
2018 INTERNATIONAL MECHANICAL CODE  
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)  
2018 INTERNATIONAL FUEL GAS CODE  
2018 ICC PERFORMANCE CODE  
AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)  
STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)

**EXTERIOR WALL FIRE-RESISTANCE RATING (IBC CHAPTER 3, TABLE R302.1):**

SEPARATION DISTANCE	0'	>3'	>5'
EXTERIOR WALL RATING (SPRINKLERED)	1HR*	0HR	-
EXTERIOR WALL RATING (UNSPRINKLERED)	1HR*	NA	0HR

\*TESTED IN ACCORDANCE WITH ASTM E119 UL 263 OR SECTION 703.3 OF IBC

OPENINGS IN WALLS (UNSPRINKLERED):  
25% MAX OF WALL AREA IF 0' < X < 3'  
UNLIMITED IF 3' < X

OPENINGS IN WALLS (SPRINKLERED):  
NOT ALLOWED IF X < 3'  
UNLIMITED IF 3' < X

**R302.2 TOWNHOUSES:**  
WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 OR R302.2.2.

**R302.2.1 DOUBLE WALLS:**  
EACH TOWNHOUSE SHALL BE SEPARATED BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE INTERNATIONAL BUILDING CODE.

**R302.2.2 COMMON WALLS:**  
COMMON WALLS SEPARATING TOWNHOUSES SHALL BE ASSIGNED A FIRE-RESISTANCE RATING IN ACCORDANCE WITH ITEM 1 OR 2. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL. THE WALL SHALL BE RATED FOR FIRE EXPOSURE FROM BOTH SIDES AND SHALL EXTEND TO AND BE TIGHT AGAINST EXTERIOR WALLS AND THE UNDERSIDE OF THE ROOF SHEATHING. ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH CHAPTERS 34 THROUGH 43. PENETRATIONS OF THE MEMBRANE OF COMMON WALLS FOR ELECTRICAL OUTLET BOXES SHALL BE IN ACCORDANCE WITH SECTION R302.4.

1. WHERE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904 IS PROVIDED, THE COMMON WALL SHALL BE NOT LESS THAN A 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE INTERNATIONAL BUILDING CODE.

2. WHERE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904 IS NOT PROVIDED, THE COMMON WALL SHALL BE NOT LESS THAN A 2-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE INTERNATIONAL BUILDING CODE.

**R302.2.3 CONTINUITY:**  
THE FIRE-RESISTANCE-RATED WALL OR ASSEMBLY SEPARATING TOWNHOUSES SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB. THE FIRE-RESISTANCE RATING SHALL EXTEND THE FULL LENGTH OF THE WALL OR ASSEMBLY, INCLUDING WALL EXTENSIONS THROUGH AND SEPARATING ATTACHED ENCLOSED ACCESSORY STRUCTURES.

**R302.2.5 PARAPET CONSTRUCTION:**  
PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR THE SUPPORTING WALL OR WALLS.  
EXCEPTIONS: TOWNHOUSES SEPARATED BY A COMMON WALL AS PROVIDED IN SECTION R302.2.2, ITEM 1 OR 2.

**R302.4 DWELLING UNIT RATED PENETRATIONS:**  
PENETRATIONS OF WALL OR FLOOR-CEILING ASSEMBLIES REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH THIS SECTION.

**R302.4.1 THROUGH PENETRATIONS:**  
THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2.

**R302.6 DWELLING-GARAGE FIRE SEPARATION:**  
THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.5.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL.

**USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3, SECTION 304.1):**  
PRIMARY USE: SINGLE FAMILY DWELLING  
(IRC 2018)

**GENERAL BUILDING HEIGHTS AND AREAS (IRC CHAPTER 5):**  
3 STORIES, SINGLE FAMILY TOWNHOUSES

**EMERGENCY ESCAPE AND RESCUE OPENINGS (IRC SECTION R310.1):**  
BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING.

**R310.2.1 MINIMUM OPENING AREA:**  
EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM).

EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET (0.465 M2).

**R310.2.2 WINDOW SILL HEIGHT:**  
WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR, WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

**R310.2.3 WINDOW WELLS:**  
THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN 9 SQUARE FEET (0.9 M2), WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES (914 MM). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

EXCEPTION: THE LADDER OR STEPS REQUIRED BY SECTION R310.2.3.1 SHALL BE PERMITTED TO ENCRoACH NOT MORE THAN 6 INCHES (152 MM) INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.

**R310.2.3.1 LADDER AND STEPS:**  
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R311.7. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

**MEANS OF EGRESS (IRC SECTION R311.2):**  
NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT.  
THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

**R311.7.1 WIDTH:**  
STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (688 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.

**R311.7.2 HEADROOM:**  
THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

**R311.7.5.1 RISERS:**  
THE RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

**R311.7.5.2 TREADS:**  
THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

**R313.1 TOWNHOUSE AUTOMATIC FIRE SPRINKLER SYSTEMS:**  
AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN TOWNHOUSES.

**R313.1.1 DESIGN AND INSTALLATION:**  
AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS FOR TOWNHOUSES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION P2904 OR NFPA 13D.

**LIFE SAFETY LEGEND**

	NEW 1 HR RATED WALL AND TENANT SEPARATION										
	NEW 2 HR RATED WALL AND TENANT SEPARATION										
	ACCESSIBLE ROUTE										
	EXIT PATH										
	EXIT ACCESS TRAVEL DISTANCE										
	MAX TRAVEL DISTANCE										
	COMMON PATH OF EGRESS TRAVEL										
	AREA POPULATION										
	MAX TRIBUTARY EXIT LOAD										
	SUBTOTAL - COMBINED TRIBUTARY LOADS										
<table border="1"> <thead> <tr> <th>DOOR #</th> <th>STAIR # OR DOOR #</th> </tr> </thead> <tbody> <tr> <td>36"</td> <td>STAIR OR DOOR WIDTH</td> </tr> <tr> <td>20"</td> <td>UNIT WIDTH/PERSON</td> </tr> <tr> <td>180</td> <td>TOTAL CAPACITY</td> </tr> <tr> <td>100</td> <td>ACTUAL LOAD</td> </tr> </tbody> </table>	DOOR #	STAIR # OR DOOR #	36"	STAIR OR DOOR WIDTH	20"	UNIT WIDTH/PERSON	180	TOTAL CAPACITY	100	ACTUAL LOAD	
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FOR CONSTRUCTION 09/11/20

**P Z S ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

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SALMON STREET TOWNHOUSES  
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267-516-2234

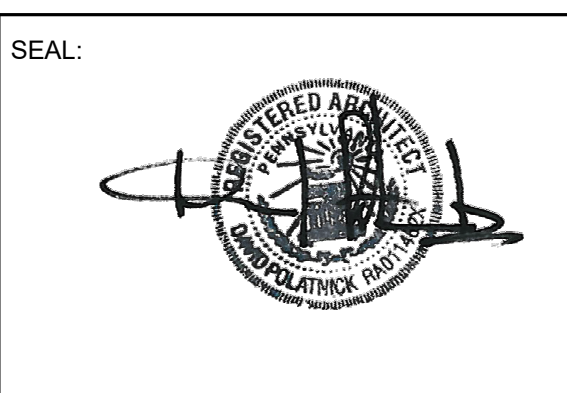
**STRUCTURAL**  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

**SYSTEMS**  
BHG CONSULTING, INC  
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**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**  
**LIFE SAFETY PLAN & CODE ANALYSIS**

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.  
**G0.2**  
PROJECT NO. 1915







## SPECIFICATIONS (CONT'D)

### SECTION 07 84 00 - FIRESTOPPING

#### PART 1 - GENERAL

##### 1.1 SUMMARY

- A. FIRESTOPPING TO BE PROVIDED AT:
- FIRESTOPPING FOR THROUGH PENETRATIONS AND JOINTS IN FIRE RATED ASSEMBLIES.
  - FIRESTOPPING AT TOP OF FIRE RATED WALLS.

##### 1.2 SUBMITTALS

- A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT. INCLUDE CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, DIMENSIONS OF INDIVIDUAL COMPONENTS AND PROFILES, AND FINISHES.

#### PART 2 - PRODUCTS

- A. PRODUCT DESCRIPTION: LISTED AS COMPONENTS OF TESTED DESIGN, APPROPRIATE FOR CONDITIONS.
- B. FIRESTOPPING MATERIAL:
- DIFFERENT TYPES OF PRODUCTS BY MULTIPLE MANUFACTURERS ARE ACCEPTABLE AS REQUIRED TO MEET SPECIFIED SYSTEM DESCRIPTION AND PERFORMANCE REQUIREMENTS; PROVIDE ONLY ONE TYPE FOR EACH SIMILAR APPLICATION.
- C. FILL, VOID, AND CAVITY MATERIALS: ONE OR MORE OF THE FOLLOWING TYPES, AS APPROPRIATE FOR PARTICULAR CONSTRUCTION CONDITIONS:
- SILICONE FOAM MATERIAL, ROOM TEMPERATURE VULCANIZING, 14 TO 20 LB/CU FT DENSITY.
  - SILICONE SEALANT MATERIAL, EXCEPT ON FINISHED SURFACES TO BE PAINTED.
  - CAULK TYPE MATERIAL.
  - PUTTY TYPE MATERIAL.
  - COMPOSITE SHEET TYPE MATERIAL, 1/4 INCH NOMINAL THICKNESS, FOIL-FACED.
  - WRAP STRIP TYPE MATERIAL, 1/4 INCH NOMINAL THICKNESS, INTUMESCENT ELASTOMERIC.
- D. PACKING MATERIALS: ONE OR MORE OF THE FOLLOWING TYPES, AS APPROPRIATE FOR PARTICULAR CONSTRUCTION CONDITIONS:
- CERAMIC FIBER BLANKET, 4 LB/CU FT DENSITY.
  - CERAMIC FIBER INSULATION, MINIMUM 1 INCH THICK, 8 LB/CU FT MINIMUM DENSITY.
- E. MANUFACTURERS:
- 3M FIRE PROTECTION PRODUCTS.
  - SPECIFIED TECHNOLOGIES, INC.
  - HILTI, INC.
  - NELSON.
  - SUBSTITUTIONS: IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- F. ACCESSORIES:
- PRIMER: TYPE RECOMMENDED BY MANUFACTURER.
  - INSTALLATION ACCESSORIES: PROVIDE CLIPS, COLLARS, FASTENERS, TEMPORARY STOPS OR DAMS, AND OTHER DEVICES REQUIRED TO POSITION AND RETAIN MATERIALS IN PLACE.

#### PART 3 - EXECUTION

##### 3.1 INSTALLATION

- A. VERIFY OPENINGS ARE READY TO RECEIVE FIRESTOPPING.
- B. VERIFY THAT PENETRATING ELEMENTS ARE SECURELY FIXED AND PROPERLY LOCATED; WITH A MINIMUM OF 1/2 INCH SPACE BETWEEN PENETRATIONS AND SURFACES OF OPENINGS UNLESS OTHERWISE REQUIRED OR PERMITTED BY TESTED DESIGN.
- C. CLEAN SUBSTRATE SURFACES OF DIRT, DUST, GREASE, OIL, LOOSE MATERIAL, OR OTHER MATTER WHICH MAY AFFECT BOND OF FIRESTOPPING MATERIAL.
- D. REMOVE INCOMPATIBLE MATERIALS WHICH MAY AFFECT BOND.
- E. INSTALL BACKING MATERIALS TO ARREST LIQUID MATERIAL LEAKAGE.
- F. INSTALL MATERIAL AT FIRE RATED CONSTRUCTION PERIMETERS AND OPENINGS WHICH CONTAIN PENETRATING SLEEVES, PIPING, DUCTWORK, CONDUIT

#### END OF SECTION 07 84 00

### 07 92 00 - JOINT SEALANTS

#### PART 1 - GENERAL

##### 1.1 SUMMARY

- A. SECTION INCLUDES: INTERIOR AND EXTERIOR JOINT SEALANTS.

##### 1.2 QUALITY ASSURANCE:

- A. INSTALLER QUALIFICATIONS: AN AUTHORIZED REPRESENTATIVE WHO IS TRAINED AND APPROVED BY MANUFACTURER.
- B. MOCKUPS: INSTALL SEALANT IN MOCKUPS OF ASSEMBLIES SPECIFIED IN OTHER SECTIONS THAT ARE INDICATED TO RECEIVE JOINT SEALANTS SPECIFIED IN THIS SECTION.
- C. USE MATERIALS AND INSTALLATION METHODS SPECIFIED IN THIS SECTION.
- D. PRECONSTRUCTION FIELD-ADHESION TESTING: BEFORE INSTALLING SEALANTS, FIELD TEST THEIR ADHESION TO PROJECT JOINT SUBSTRATES.
- 1.3 WARRANTIES:
- A. SPECIAL INSTALLER'S WARRANTY, TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION. SPECIAL MANUFACTURER'S WARRANTY, FIVE YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

#### PART 2 - PRODUCTS

- 2.1 MANUFACTURERS:
- A. TREMCO, DOW CORNING, GE CONSTRUCTION SEALANTS, SHERWIN WILLIAMS, PECORA CORPORATION, SIKA CORPORATION U.S.
- 2.2 COMPATIBILITY
- A. PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT-SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.
- 2.3 SILICONE JOINT SEALANTS:
- A. SILICONE, S, NS, 100/50, NT:
- SINGLE-COMPONENT, NONSAG, PLUS100 PERCENT AND MINUS 50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS100/50, USENT.
- B. SILICONE, S, NS, 50, NT:
- SINGLE-COMPONENT, NONSAG, PLUS50 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS50, USENT.
- C. SILICONE, S, P, 100/50, T, NT:
- SINGLE-COMPONENT, POURABLE, PLUS100 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY TRAFFIC-AND NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADEP, CLASS100/50, USES T AND NT.
- 2.4 NON-STAINING SILICONE JOINT SEALANTS:
- A. SILICONE, NONSTAINING, S, NS, 100/50, NT:
- NONSTAINING, SINGLE-COMPONENT, NONSAG, PLUS100 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS100/50, USE NT.
- B. SILICONE, NONSTAINING, S, NS, 50, NT:
- NONSTAINING, SINGLE-COMPONENT, NONSAG, PLUS50 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS50, USENT.
- C. SILICONE, NONSTAINING, S, NS, 100/50, T, NT:
- NONSTAINING, SINGLE-COMPONENT, NONSAG, PLUS100 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, TRAFFIC-AND NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS100/50, USEST AND NT.
- D. SILICONE, NONSTAINING, M, NS, 50, NT:
- NONSTAINING, MULTICOMPONENT, NONSAG, PLUS50 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTM C920, TYPEM, GRADENS, CLASS50, USENT.
- 2.5 URETHANE JOINT SEALANTS:
- A. URETHANE, S, NS, 25, NT: SINGLE-COMPONENT, NONSAG, NONTRAFFIC-USE, PLUS25 PERCENT AND MINUS25 PERCENT MOVEMENT CAPABILITY, URETHANE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS25, USENT.
- B. URETHANE, M, NS, 25, T, NT: MULTICOMPONENT, NONSAG, PLUS25 PERCENT AND MINUS25 PERCENT MOVEMENT CAPABILITY, TRAFFIC-AND NONTRAFFIC-USE, URETHANE JOINT SEALANT; ASTM C920, TYPEM, GRADENS, CLASS25, USES T AND NT.
- C. URETHANE, M, P, 25, T, NT: MULTICOMPONENT, POURABLE, PLUS25 PERCENT AND MINUS25 PERCENT MOVEMENT CAPABILITY, TRAFFIC-AND NONTRAFFIC-USE, URETHANE JOINT SEALANT; ASTM C920, TYPEM, GRADEP, CLASS25, USES T AND NT.
- 2.6 MILDEW-RESISTANT JOINT SEALANTS:
- A. SILICONE, MILDEW RESISTANT, ACID CURING, S, NS, 25, NT: MILDEW-RESISTANT, SINGLE-COMPONENT, NONSAG, PLUS25 PERCENT AND MINUS 25 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, ACID-CURING SILICONE JOINT SEALANT; ASTM C920, TYPES, GRADENS, CLASS25, USE NT.
- 2.7 BUTYL JOINT SEALANTS:
- A. BUTYL-RUBBER-BASED JOINT SEALANTS: ASTM C1311.
- 2.8 LATEX JOINT SEALANTS:
- A. ACRYLIC LATEX, ACRYLIC LATEX OR SILICONIZED ACRYLIC LATEX, ASTM C834, TYPEOP, GRADENF.
- 2.9 JOINT SEALANT BACKING:
- A. SEALANT BACKING MATERIAL, GENERAL: NONSTAINING; COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS;AND APPROVED FOR APPLICATIONS INDICATED BY SEALANT MANUFACTURER BASED ON FIELD EXPERIENCE AND LABORATORY TESTING.
- B. CYLINDRICAL SEALANT BACKINGS: ASTM C1330, TYPEC (CLOSED-CELL MATERIAL WITH A SURFACE SKIN), TYPEO (OPEN-CELL MATERIAL), TYPEB (BICELLULAR MATERIAL WITH A SURFACE SKIN)OR ANY OF THE PRECEDING TYPES, AS APPROVED IN WRITING BY JOINT-SEALANT MANUFACTURER FOR JOINT APPLICATION INDICATED, AND OF SIZE AND DENSITY TO CONTROL SEALANT DEPTH AND OTHERWISE CONTRIBUTE TO PRODUCING OPTIMUM SEALANT PERFORMANCE.
- C. BOND-BREAKER TAPE: POLYETHYLENE TAPE OR OTHER PLASTIC TAPE RECOMMENDED BY SEALANT MANUFACTURER FOR PREVENTING SEALANT FROM ADHERING TO RIGID, INFLEXIBLE JOINT-FILLER MATERIALS OR JOINT SURFACES AT BACK OF JOINT. PROVIDE SELF-ADHESIVE TAPE WHERE APPLICABLE.
- 2.10 MISCELLANEOUS MATERIALS: PRIMER, CLEANER, MASKING TAPE.

#### PART 3 - EXECUTION

##### 3.1 INSTALLATION:

- A. COMPLY WITH JOINT-SEALANT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR PRODUCTS AND APPLICATIONS INDICATED, UNLESS MORE STRINGENT REQUIREMENTS APPLY. COMPLY WITH RECOMMENDATIONS IN ASTM C1193 FOR USE OF JOINT SEALANTS AS APPLICABLE TO MATERIALS, APPLICATIONS, AND CONDITIONS INDICATED.

#### END OF SECTION 07 92 00

### 07 92 19 --ACOUSTICAL JOINT SEALANTS

#### PART 1 - GENERAL

##### 1.1 SUMMARY

- A. SECTION INCLUDES: INTERIOR ACOUSTICAL JOINT SEALANTS.

##### 1.2 WARRANTIES

- A. SPECIAL INSTALLER'S WARRANTY, TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION. SPECIAL MANUFACTURER'S WARRANTY, FIVE YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

#### PART 2 - PRODUCTS

##### 2.1 MANUFACTURERS

- A. ACCUMETRIC LLC, GE CONSTRUCTION SEALANTS, PECORA CORPORATION, TREMCO INCORPORATED.

##### 2.2 COMPATIBILITY

- A. PROVIDE ACOUSTICAL JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT-SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.

##### 2.3 PERFORMANCE REQUIREMENTS

- A. PROVIDE ACOUSTICAL JOINT-SEALANT PRODUCTS THAT EFFECTIVELY REDUCE AIRBORNE SOUND TRANSMISSION THROUGH PERIMETER JOINTS AND OPENINGS IN BUILDING CONSTRUCTION, AS DEMONSTRATED BY TESTING REPRESENTATIVE ASSEMBLIES ACCORDING TO ASTM E90.

##### 2.4 ACOUSTICAL JOINT SEALANTS

- A. INTERIOR ACOUSTICAL JOINTS: MANUFACTURER'S STANDARD NONSAG, PAINTABLE, NONSTAINING LATEX ACOUSTICAL SEALANT COMPLYING WITH ASTM C 834, COLOR AS SELECTED.

##### 2.5 ACCESSORIES

- A. PRIMER, CLEANER, MASKING TAPE.
- B. SEALANT BACKING MATERIAL, GENERAL: NONSTAINING; COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS;AND APPROVED FOR APPLICATIONS INDICATED BY SEALANT MANUFACTURER.

#### PART 3 - EXECUTION

##### 3.1 INSTALLATION

- A. INSTALL IN ACCORDANCE WITH MANUFACTURERS LATEST INSTALLATION INSTRUCTIONS.
- B. STC-RATED ASSEMBLIES: SEAL CONSTRUCTION AT PERIMETERS, BEHIND CONTROL JOINTS, AND AT OPENINGS AND PENETRATIONS WITH A CONTINUOUS BEAD OF ACOUSTICAL JOINT SEALANT. INSTALL ACOUSTICAL JOINT SEALANTS AT BOTH FACES OF PARTITIONS, AT PERIMETERS, AND THROUGH PENETRATIONS.
- C. COMPLY WITH ASTM C 919, ASTM C 1193, AND MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR CLOSING OFF SOUND-FLANKING PATHS AROUND OR THROUGH ASSEMBLIES, INCLUDING SEALING PARTITIONS TO UNDERSIDE OF FLOOR SLABS ABOVE ACOUSTICAL CEILING.

#### END OF SECTION 07 92 19

### DIVISION 08 - DOORS, FRAMES, WINDOWS AND HARDWARE

#### DOORS AND FRAMES

PROVIDE LABELED AND/OR NON-LABELED FRAMES IN THE DIMENSIONS SHOWN ON DRAWINGS. INTERIOR FRAMES ARE TO BE 18 GAUGE AND EXTERIOR FRAMES ARE TO BE 16 GAUGE GALVANIZED. FRAMES SHALL BE FACTORY SHOP PRIMED.

SET FRAMES ACCURATELY INTO POSITION, PLUMBED, ALIGNED, AND BRACED UNTIL PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION REMOVE TEMPORARY BRACING.

EXTERIOR DOORS ARE TO BE 18 GAUGE HOLLOW METAL DOORS AS SHOWN. DOORS SHALL BE PREPARED TO RECEIVE FINISH AND HARDWARE AS SCHEDULED.

#### WOOD DOORS

INTERIOR DOORS SHALL BE 1 3/4" THICK PAINT GRADE SOLID CORE DOORS AND TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF AWI QUALITY STANDARDS.

PREPARE DOORS TO RECEIVE HARDWARE AND FINISH AS SCHEDULED.

INSTALL WOOD DOORS PLUMB SQUARE, AND WITH MAXIMUM DIAGONAL DISTORTION OF 1/16". INSTALL HARDWARE IN ACCORDANCE WITH REQUIREMENTS STATED IN THE HARDWARE SCHEDULE.


#### HARDWARE

PROVIDE ITEMS AS LISTED IN HARDWARE SCHEDULE, COMPLETE TO FUNCTION AS INDICATED. UNLESS OTHERWISE NOTED OR APPROVED BY CM OR ARCHITECT DOOR HARDWARE IS TO BE STANLEY SOLUTIONS.

PROVIDE CONSTRUCTION CORE CYLINDERS FOR ALL EXTERIOR DOORS DURING CONSTRUCTION PERIOD. CORES SHOULD BE STANLEY BEST CORE 7 PIN CYLINDERS.

ACCURATELY AND PROPERLY FIT HARDWARE TO DOORS AND FRAMES. REMOVE EXPOSED PARTS UNTIL AFTER PAINT FINISHING IS COMPLETED. REINSTALL AFTER FINISHING IS COMPLETE. FIT FIXED PARTS SNUG AND FLUSH. ADJUST OPERATING PARTS TO MOVE FREELY AND SMOOTHLY WITHOUT BINDING, STICKING OR WITH EXCESSIVE CLEARANCE.

AFTER WORK HAS BEEN OTHERWISE COMPLETED, EXAMINE HARDWARE IN PLACE FOR COMPLETE AND PROPER INSTALLATION. LUBRICATE BEARING SURFACES OF MOVING PARTS. ADJUST LATCHING AND HOLDING DEVICES FOR PROPER FUNCTION. ADJUST DOOR CONTROL DEVICES TO PROPER SPEED AND POWER. CLEAN EXPOSED SURFACES AND CHECK FOR SURFACE DAMAGE.

 <b>P Z S</b> <b>ARCHITECTS</b>
4593 MITCHELL ST., PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484
<b>PROJECT NAME</b> SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125
<b>PROJECT TEAM</b> <b>OWNER</b> KIDDNA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234
<b>STRUCTURAL</b> JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-0050
<b>SYSTEMS</b> BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318
<b>CIVIL ENGINEER</b> MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

#### CONTRACTOR ACKNOWLEDGEMENT:

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(a) it has thoroughly reviewed all of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope;

(b) it has verified that the information used is accurate and complete;

(c) it will report any inaccurate or incomplete information to the project architect immediately upon becoming aware of the error or omission; and

(d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information used.

#### Note:

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#### SEAL:

#### REVISIONS

NO.	DATE	ISSUE

#### DRAWING TITLE

## SPECIFICATIONS

SCALE: 12" = 1'-0"	DRAWN BY: CR
DATE: 09/11/20	CHECKED BY: DP

#### SHEET NO.

# G.06

PROJECT NO.	1915
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FOR CONSTRUCTION 09/11/20

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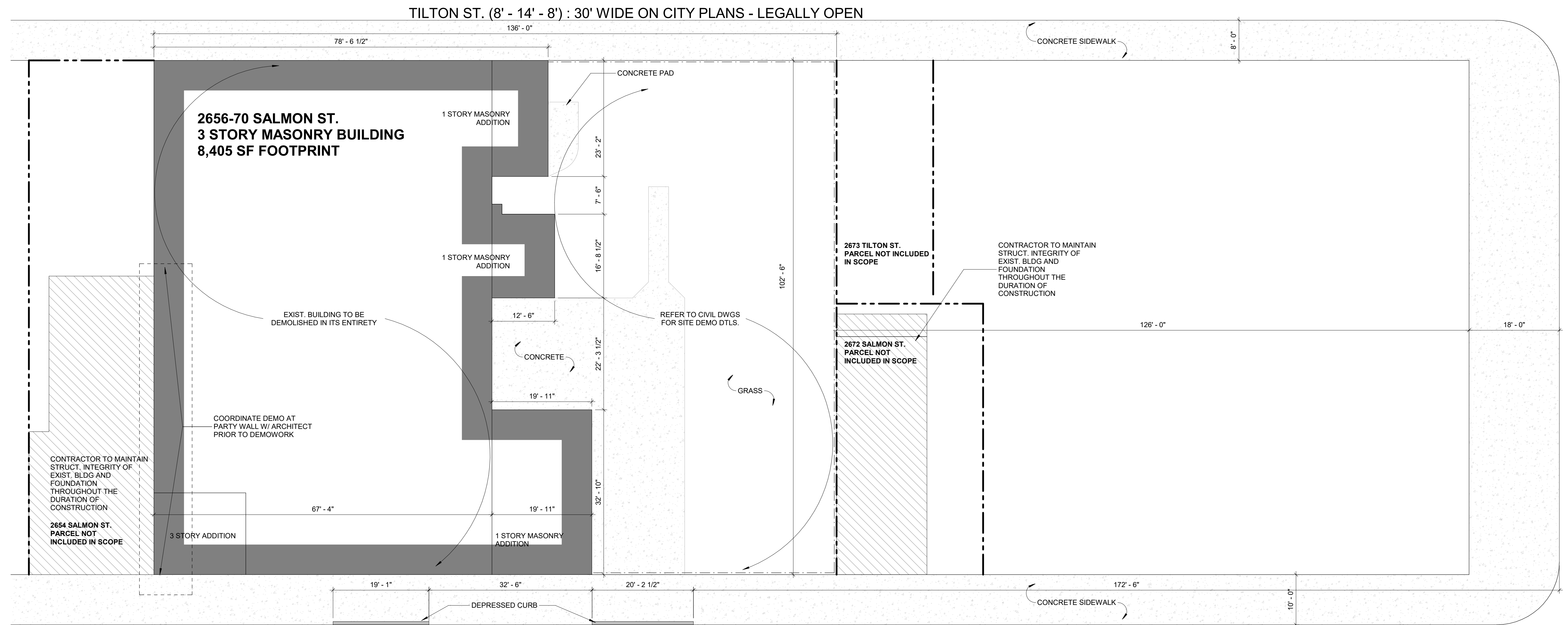


REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE	
<b>EXISTING CONDITIONS</b>	
SCALE: 3/32" = 1'-0"	DRAWN BY: CR
DATE: 09/11/20	CHECKED BY: DP

SHEET NO.	
<b>A1.0</b>	
PROJECT NO.	1915

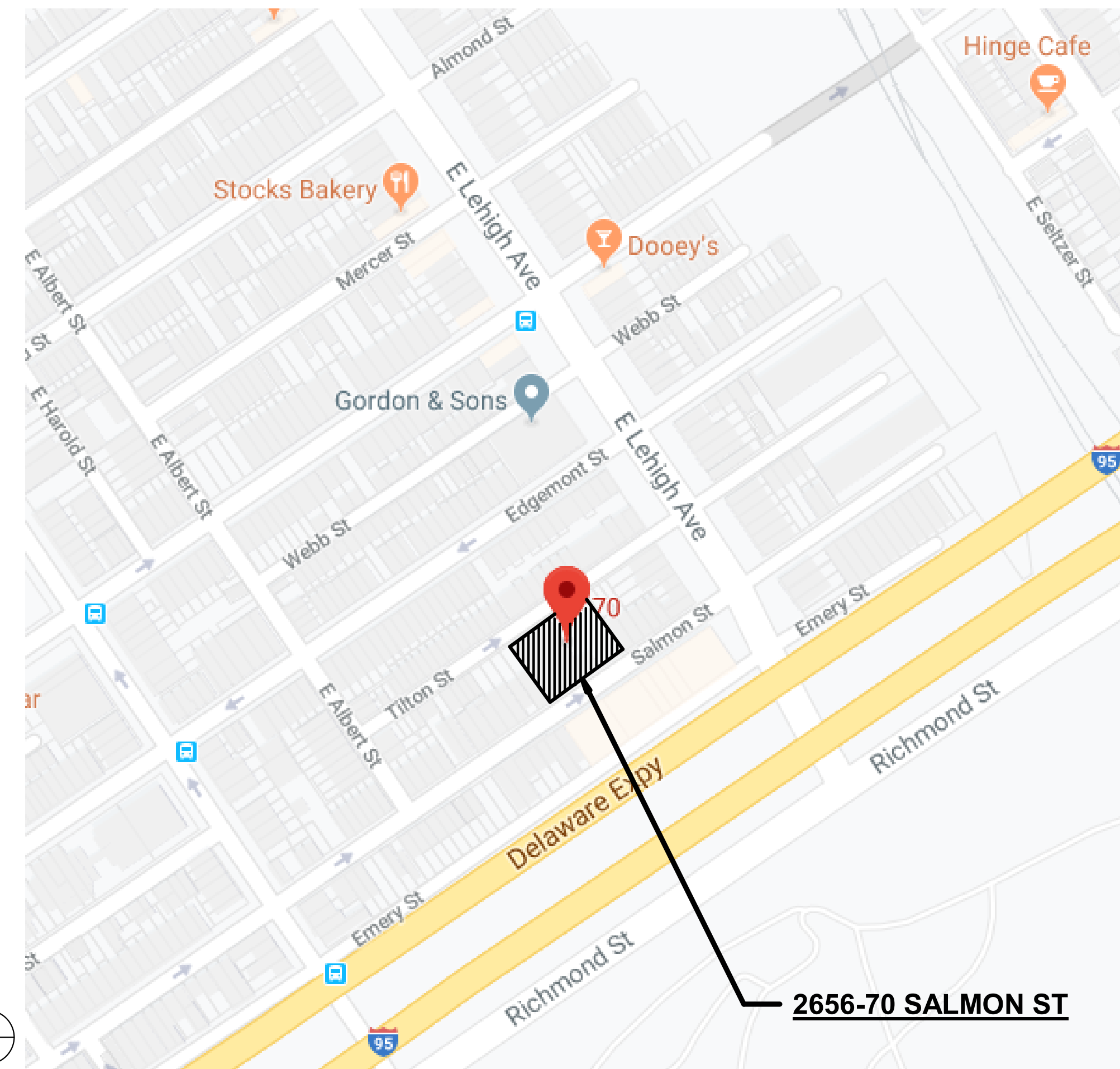
LEHIGH AVE. (18' - 84' - 18') : 120' WIDE ON CITY PLANS - LEGALLY OPEN



SALMON ST. (10' - 20' - 10') : 40' WIDE ON CITY PLANS - LEGALLY OPEN

**1** EXISTING CONDITIONS  
3/32" = 1'-0"

- NOTE:**
- THIS DEMO PLAN IS FOR GENERAL INFORMATION ONLY. TO BE USED AS A REFERENCE FOR PRICING.
  - CONFIRM ALL DIMENSIONS AND EXISTING ASSEMBLIES ISSUED FOR GENERAL SCOPE OF WORK.
  - DEMOLITION CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS.
  - SEE CIVIL ENGINEERING DRAWING 1 OF 7 FOR ALL SITE DEMO NOTES.



**ZONING DATA - PROJECT #201915 : 2656-70 SALMON STREET**

OPA ACCOUNT # 884346485

**ZONING :**

- RSA-5 ( RESIDENTIAL SINGLE-FAMILY ATTACHED-5)
- ALLOWABLE USES : SINGLE FAMILY
- SPECIAL EXCEPTION APPROVAL REQ. FOR USE AS : GROUP LIVING (WITH EXCEPTIONS); PERSONAL CARE HOME

**OVERLAY DISTRICTS :**

- NON-ACCESSORY SIGNS - REGULATIONS APPLICABLE TO THE I-95 ACQUISITION CORRIDOR (14-905(11)) - (NOT APPLICABLE: AFFECTS ONLY OUTDOOR ADVERTISING STRUCTURES / SIGNS).
- NCA NEIGHBORHOOD COMMERCIAL AREA OVERLAY DISTRICT - NORTH DELAWARE AVENUE (14-503(6)) - (NOT APPLICABLE: AFFECTS ONLY ASSEMBLY AND ENTERTAINMENT USES).

**TOTAL SITE AREA :** 13,940 SF (SURVEY); 13,975 (PHILADELPHIA ATLAS)

**SETBACKS:**

- FRONT : BASED ON ADJACENT BUILDING SETBACKS [5]
- a) "...THE FRONT SETBACK SHALL BE NO DEEPER THAN THE FRONT SETBACK OF THE PRINCIPLE BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE DEEPEST FRONT SETBACK, AND SHALL BE NO SHALLOWER THAN THE FRONT SETBACK OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOT/LOT ON SUCH STREET WITH THE SHALLOWEST FRONT SETBACK."
- b) "ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE FRONT SETBACK SHALL MATCH THE FRONT SETBACK ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM FRONT SETBACK SHALL BE ZERO."
- c) "IF THE PROPERTY IS BOUNDED BY TWO OR MORE STREETS, ONLY THE PRIMARY FRONTAGES AS DESIGNATED IN 14-701(1)(d)(4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT SETBACK REQUIREMENTS OF a) AND b) ABOVE."
- SIDE : N/A (2/5 FT EA. FOR DETACHED)
- REAR : 9 FT (7) "FOR LOT LINES OTHER THAN STREET LINES, THE MINIMUM SETBACK FOR STRUCTURES FROM EACH LOT LINE SHALL BE EQUAL TO 3/4 OF THE HEIGHT OF THE STRUCTURE. FOR LOT LINES THAT ARE STREET LINES, THE MINIMUM SETBACK FOR STRUCTURES, SHALL BE MEASURED FROM THE CENTERLINE OF THAT STREET AND SHALL BE EQUAL TO 3/4 OF THE HEIGHT OF THE STRUCTURE."

**EXISTING BUILDING HEIGHT :** 38 FT

**EXISTING BUILDING LOT COVERAGE :** 8,405 SF OF 13,940 SF (60%)

**PROPOSED BUILDING LOT COVERAGE :** 10,566 OS 13,940 SF (77%)

**DENSITY :**

- 25% MINIMUM OPEN AREA, NOT LESS THAN 50% OF OPEN AREA TO BE UNOCCUPIED BY PARKING OR STRUCTURES (BUILDINGS ON LOTS EQUAL TO OR LESS THAN 45 FT IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT)

**UNIT LOTS (ATTACHED) :**

- MINIMUM WIDTH: 16'
- MINIMUM AREA: 1440 SF

FOR CONSTRUCTION 09/11/20



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REVISIONS		
NO.	DATE	ISSUE

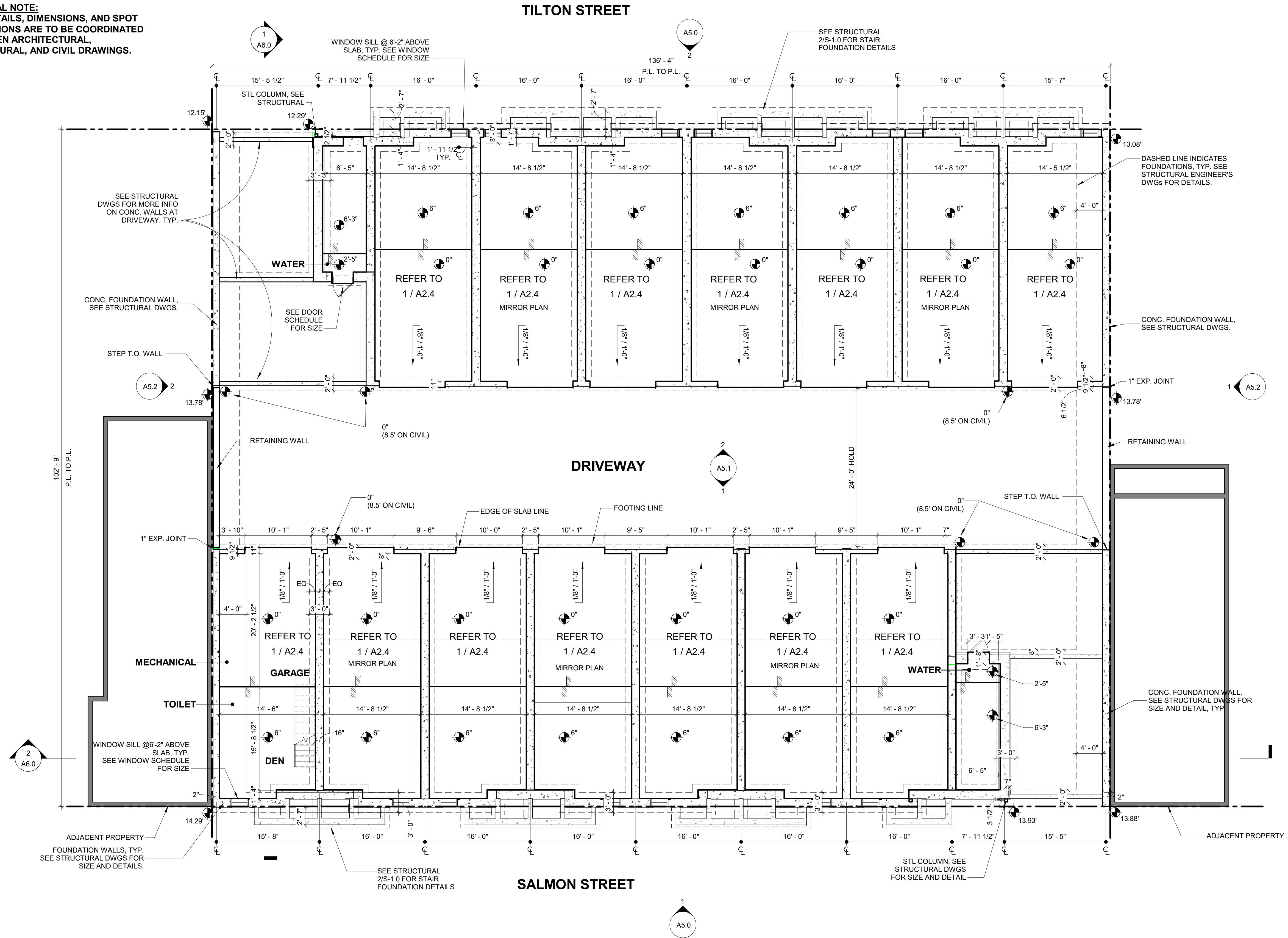
**DRAWING TITLE**  
FOOTINGS /  
FOUNDATION  
PLAN

SCALE: 1/8" = 1'-0" DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.  
**A2.0A**

PROJECT NO. 1915

**GENERAL NOTE:**  
ALL DETAILS, DIMENSIONS, AND SPOT ELEVATIONS ARE TO BE COORDINATED BETWEEN ARCHITECTURAL, STRUCTURAL, AND CIVIL DRAWINGS.



FOR CONSTRUCTION 09/11/20

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SEAL:



REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

**BASEMENT PLAN**

SCALE: As indicated DRAWN BY: CR

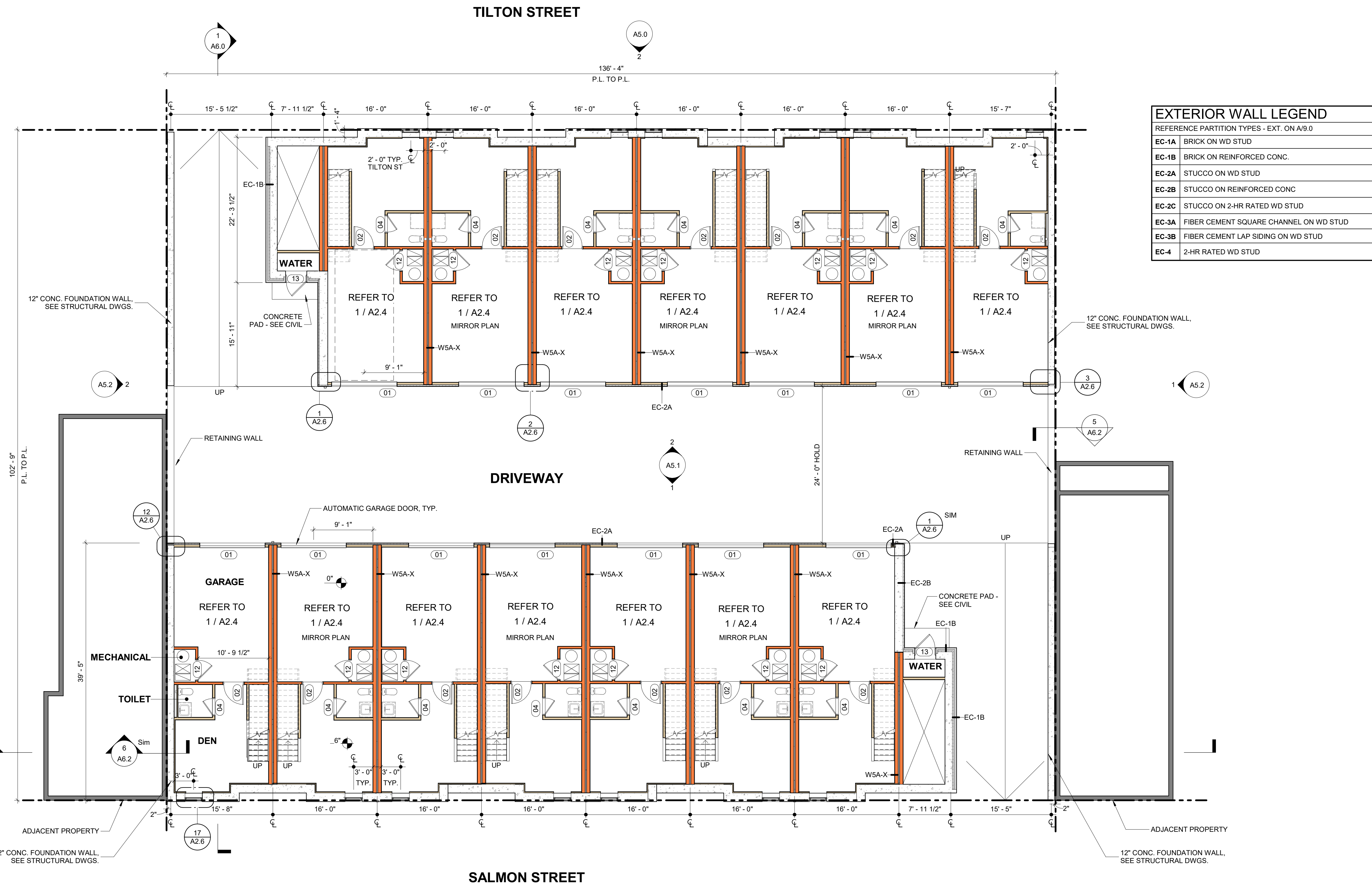
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

**A2.0B**

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20

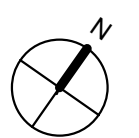


**EXTERIOR WALL LEGEND**

REFERENCE PARTITION TYPES - EXT. ON A/9.0

EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD

**1 BASEMENT PLAN**  
1/8" = 1'-0"



**EXTERIOR WALL LEGEND**

REFERENCE PARTITION TYPES - EXT. ON A/9.0

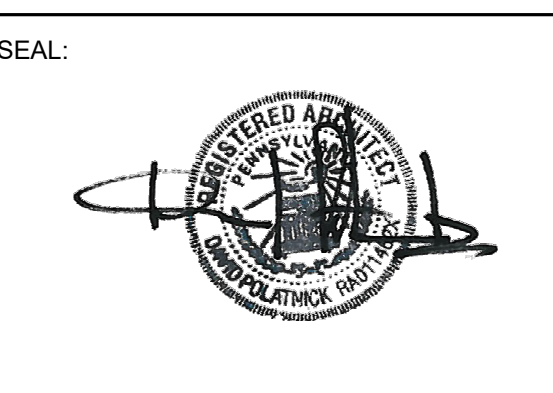
EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

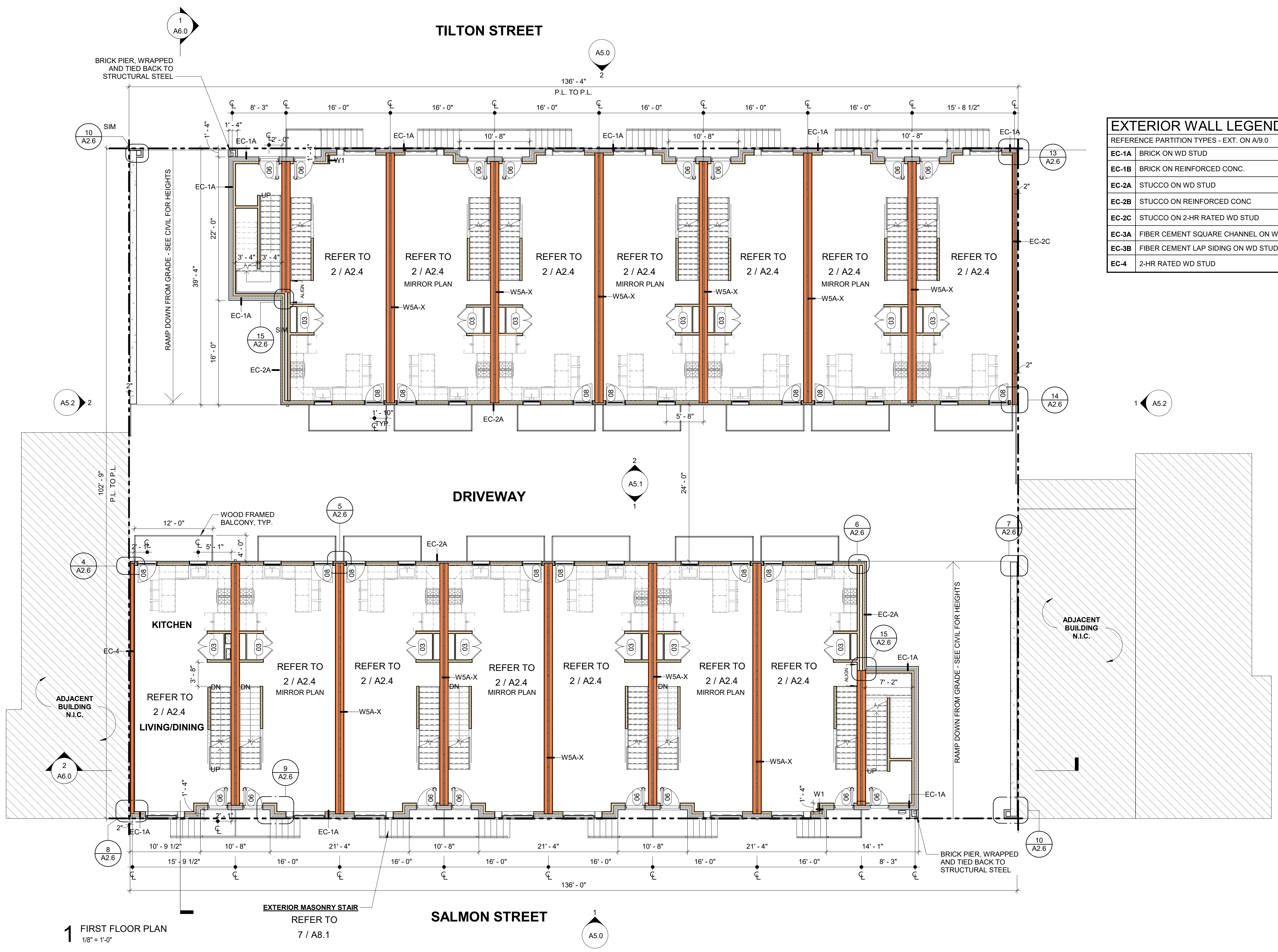
**FIRST FLOOR PLAN**

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

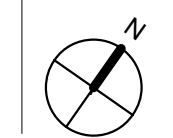
**A2.1**

PROJECT NO. 1915



**1** FIRST FLOOR PLAN  
1/8" = 1'-0"

FOR CONSTRUCTION 09/11/20



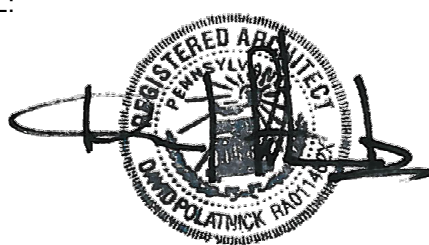
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NO.	DATE	ISSUE

DRAWING TITLE

SECOND FLOOR PLAN

SCALE: As indicated DRAWN BY: CR

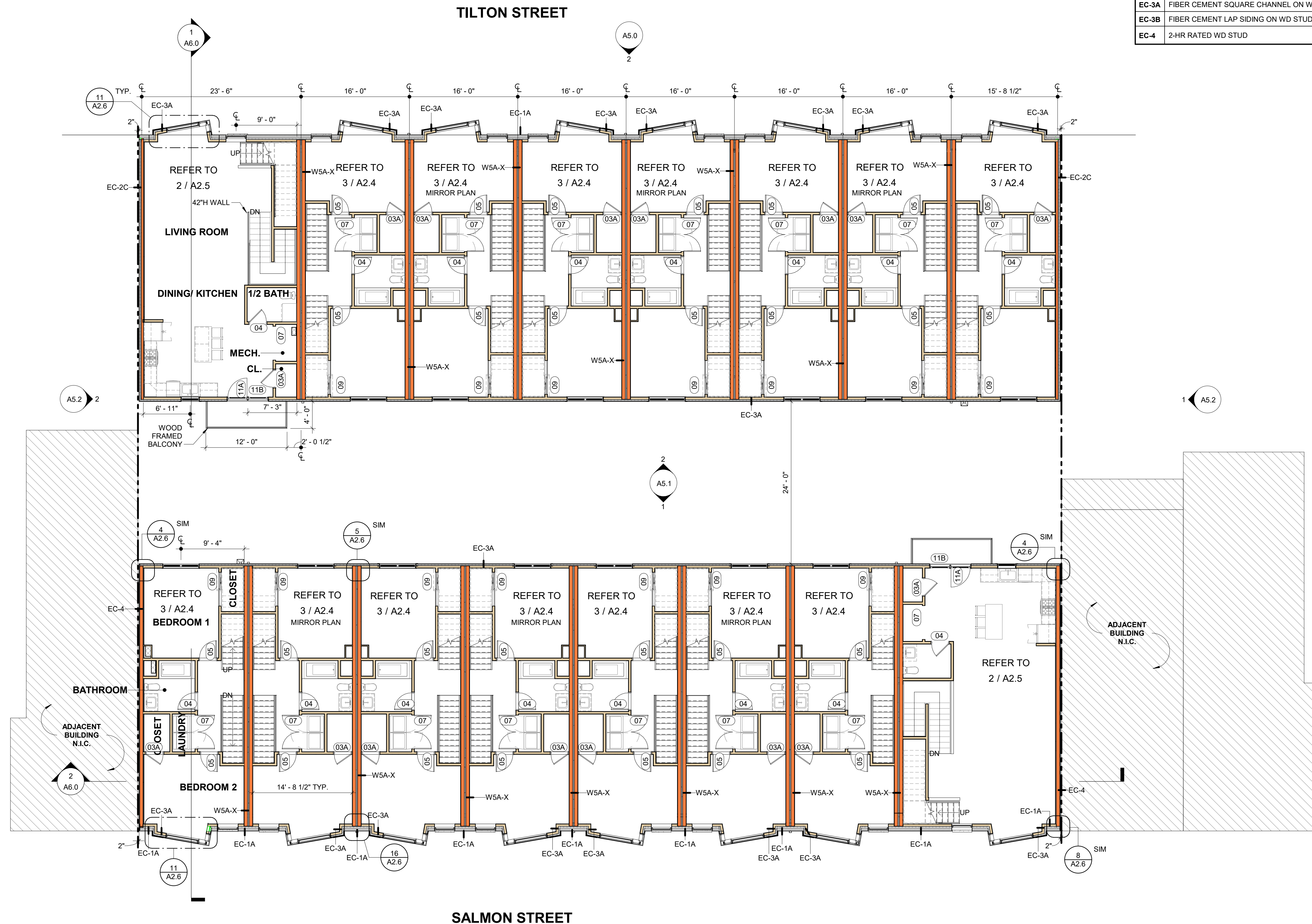
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

A2.2

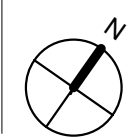
PROJECT NO. 1915

EXTERIOR WALL LEGEND	
REFERENCE PARTITION TYPES - EXT. ON A/9.0	
EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD



1 SECOND FLOOR PLAN  
1/8" = 1'-0"

FOR CONSTRUCTION 09/11/20

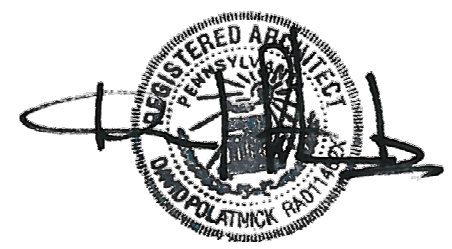


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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

THIRD FLOOR PLAN

SCALE: As indicated DRAWN BY: CR

DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

A2.3

PROJECT NO. 1915

TILTON STREET



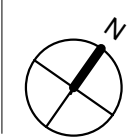
**EXTERIOR WALL LEGEND**

REFERENCE PARTITION TYPES - EXT. ON A/9.0

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EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD

1 THIRD FLOOR PLAN  
1/8" = 1'-0"

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NO.	DATE	ISSUE

DRAWING TITLE

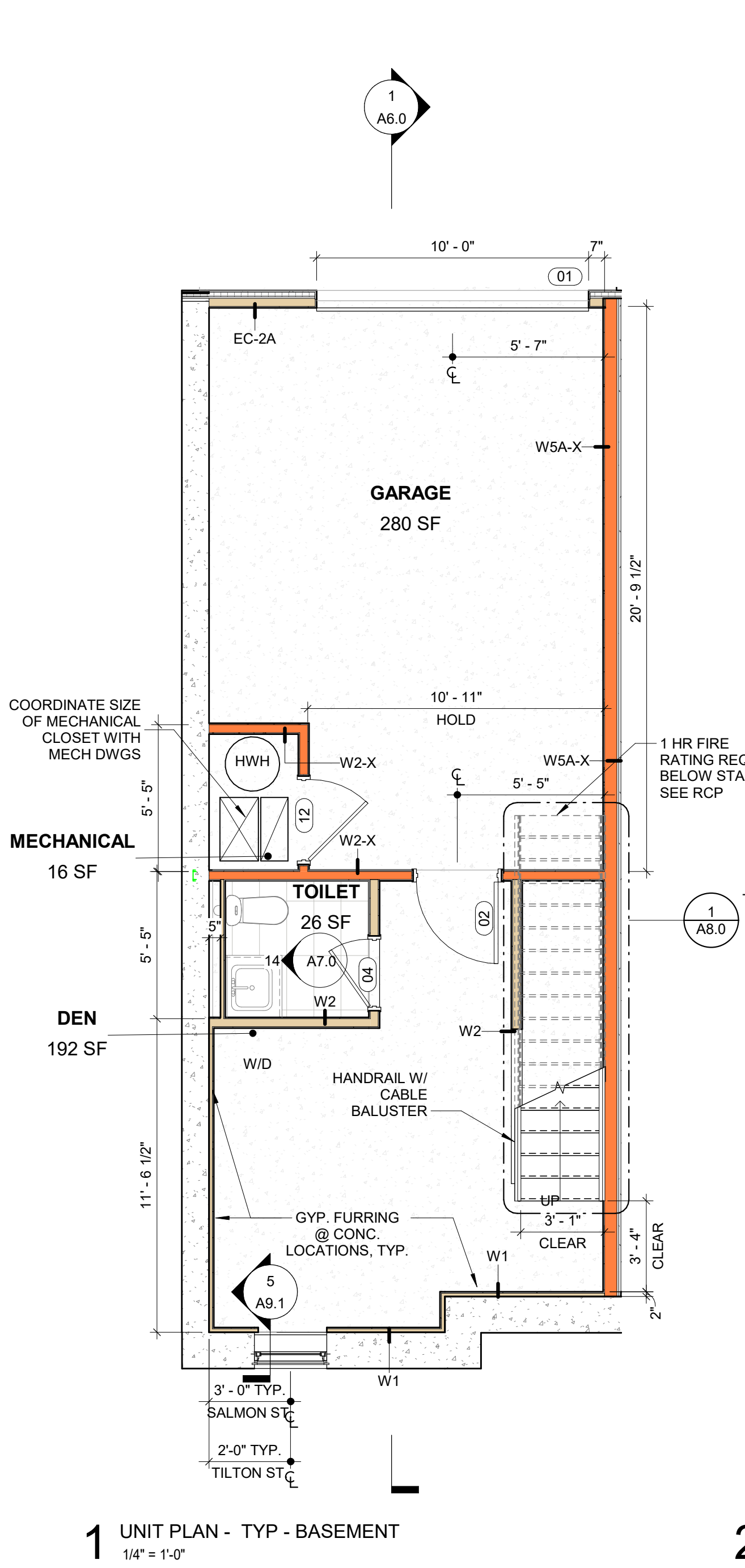
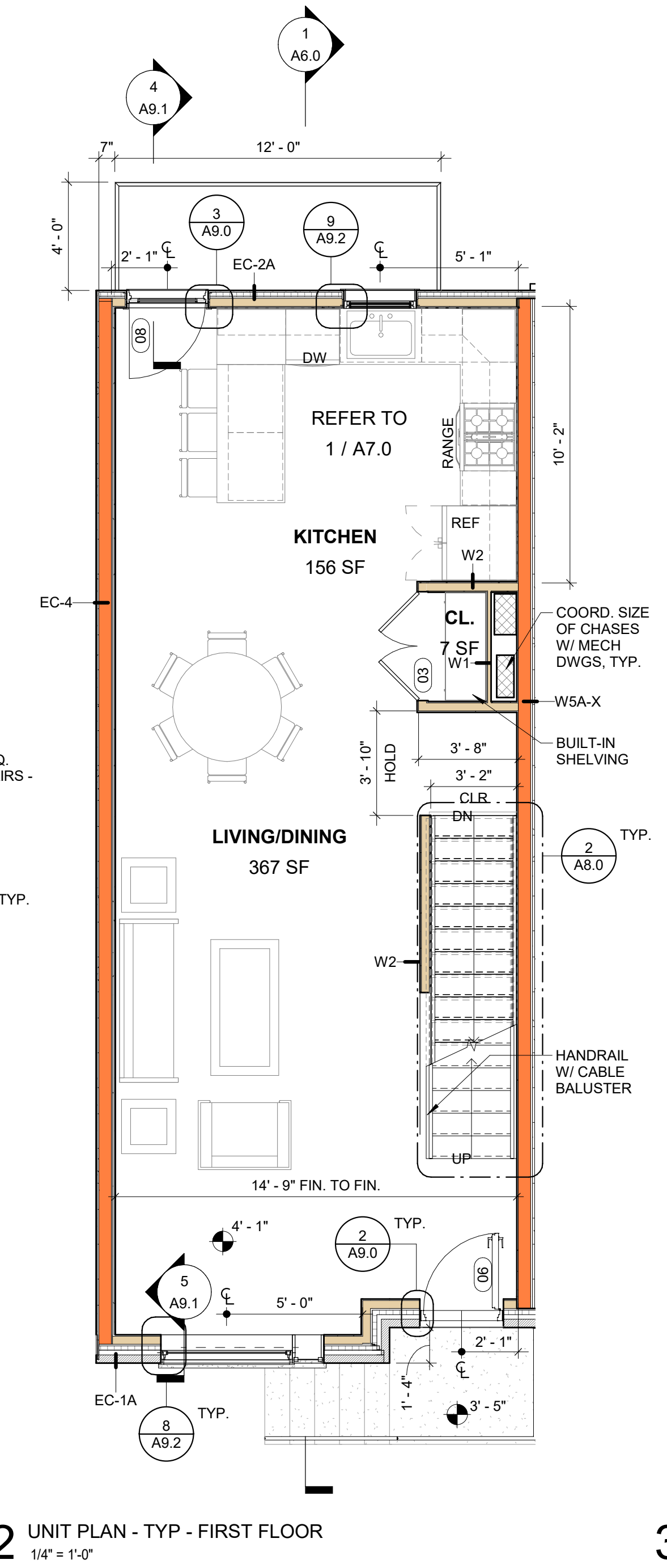
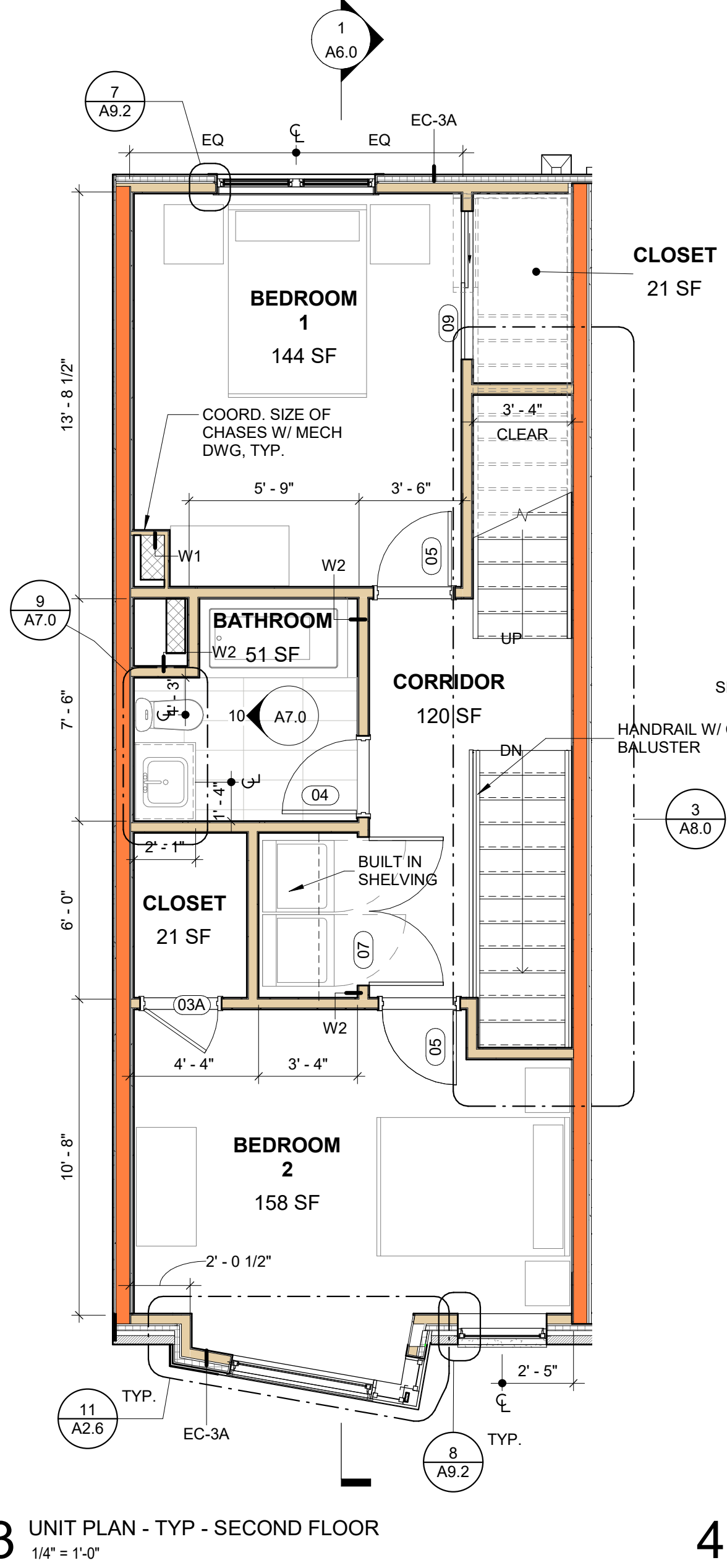
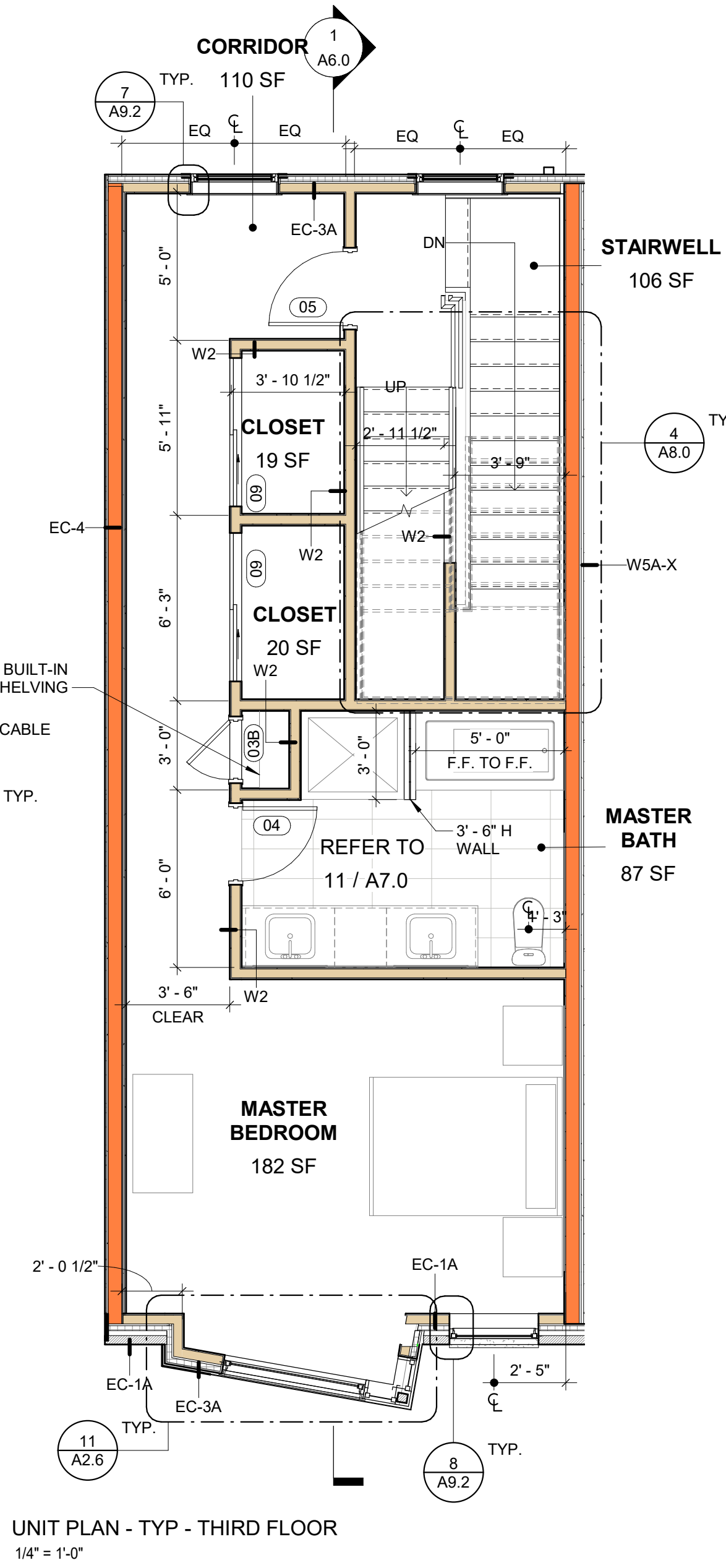
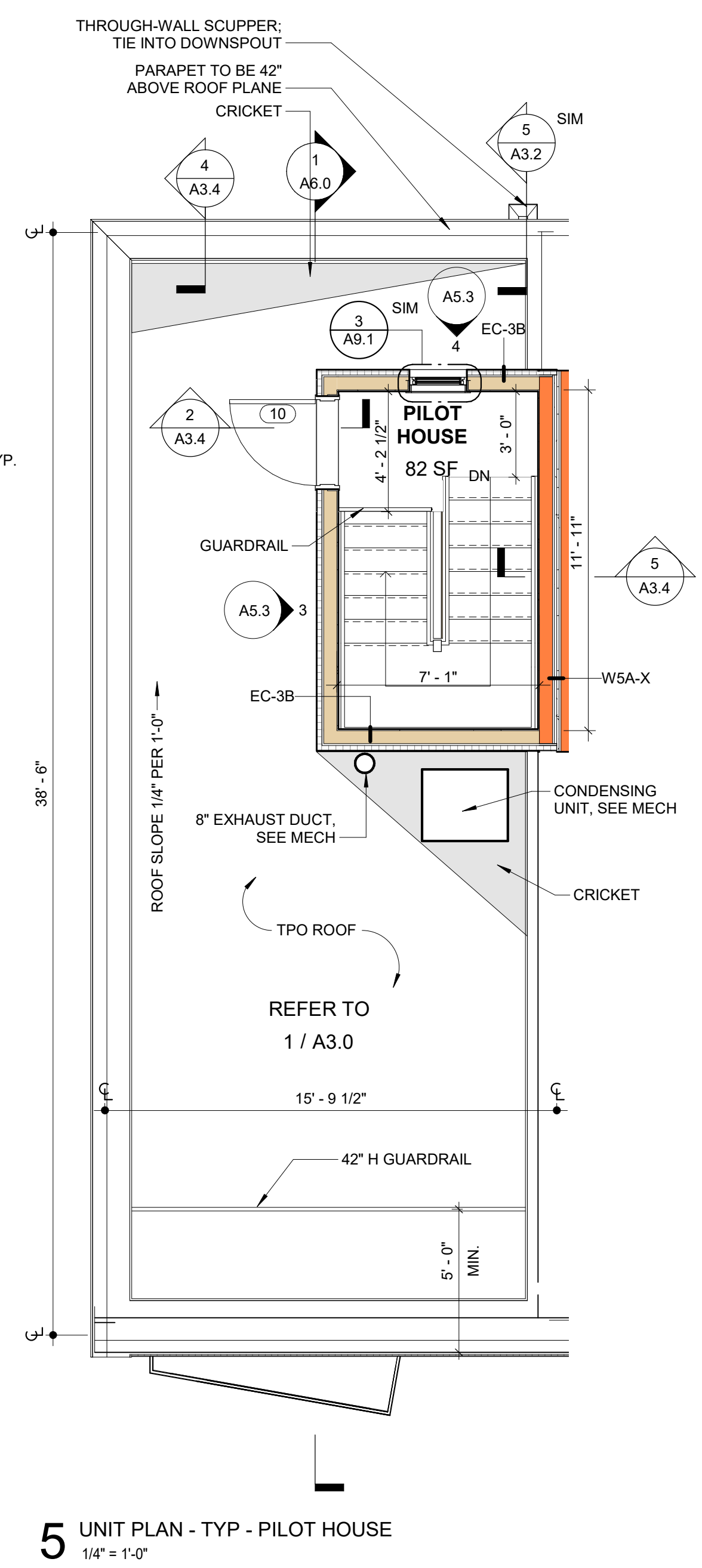
UNIT PLANS - TYPICAL

SCALE: As indicated	DRAWN BY: CR
DATE: 09/11/20	CHECKED BY: DP

SHEET NO.

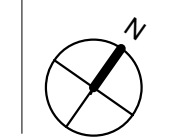
A2.4

PROJECT NO. 1915



- GENERAL NOTES:**
- FURNITURE SHOWN FOR REFERENCE ONLY
  - ALL DIMENSIONS TAKEN TO FACE OF STUD, U.N.O

FOR CONSTRUCTION 09/11/20



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SEAL:



REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

UNIT PLANS -  
CARRIAGE HOUSE

SCALE: As indicated DRAWN BY: CR

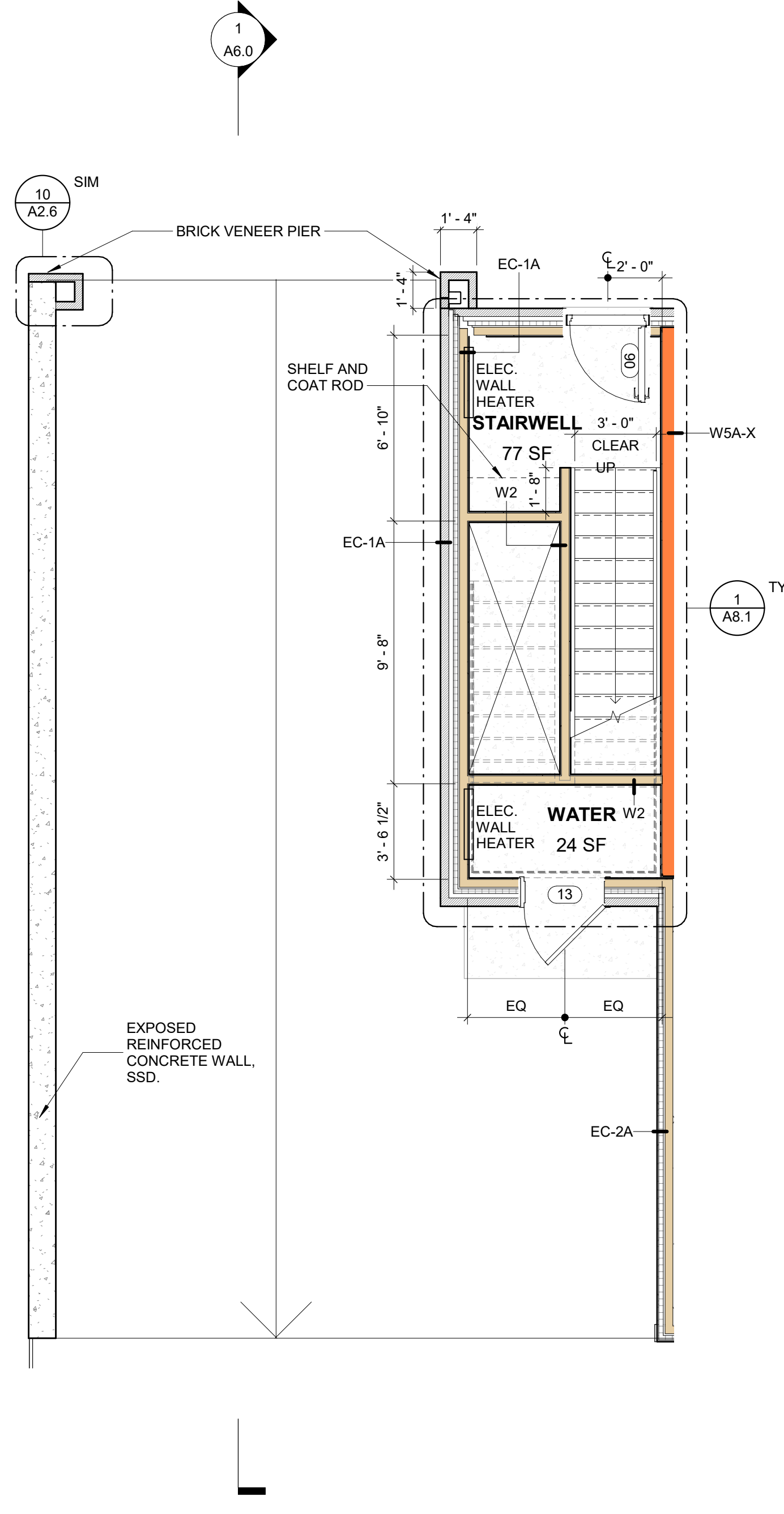
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

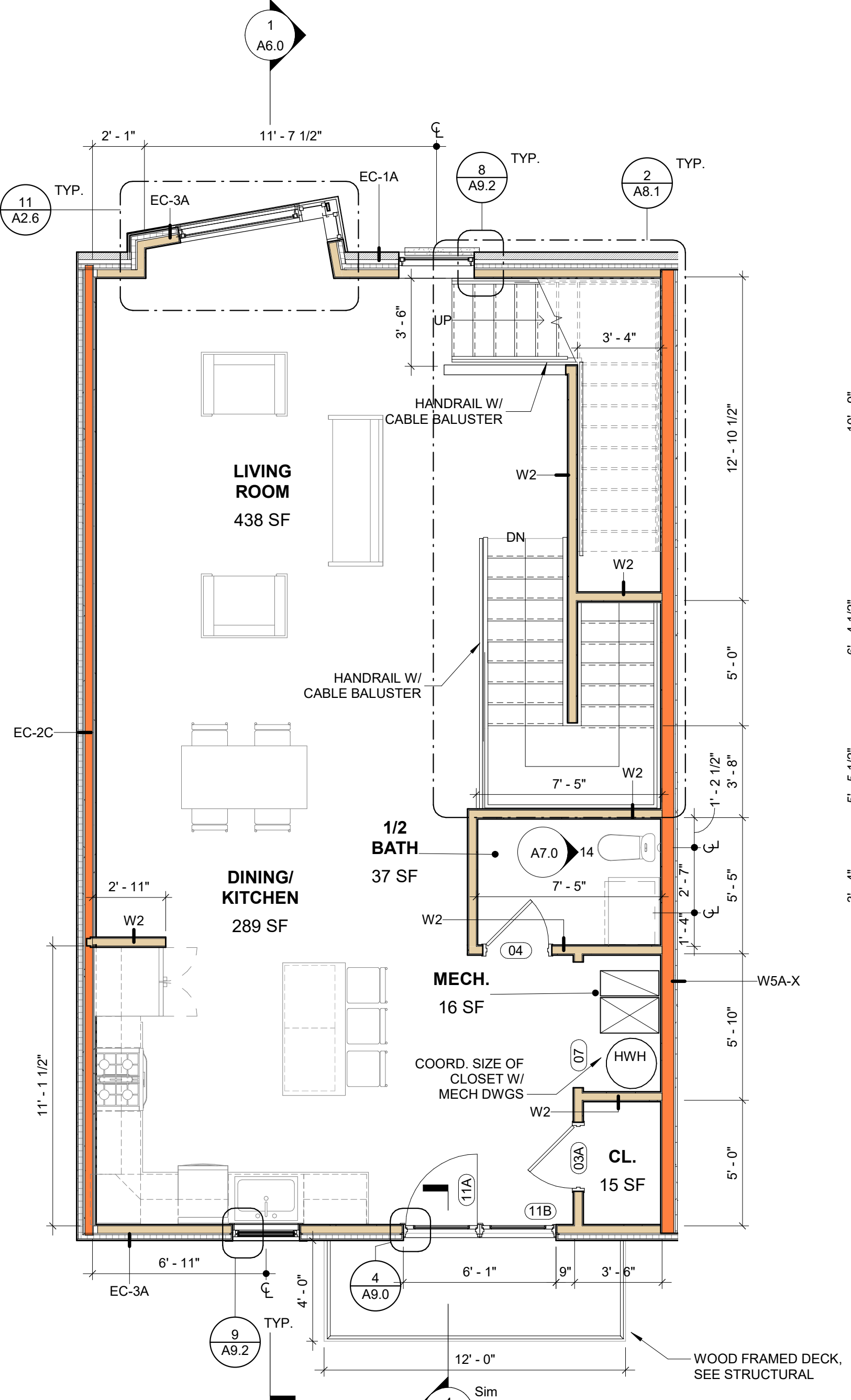
A2.5

PROJECT NO. 1915

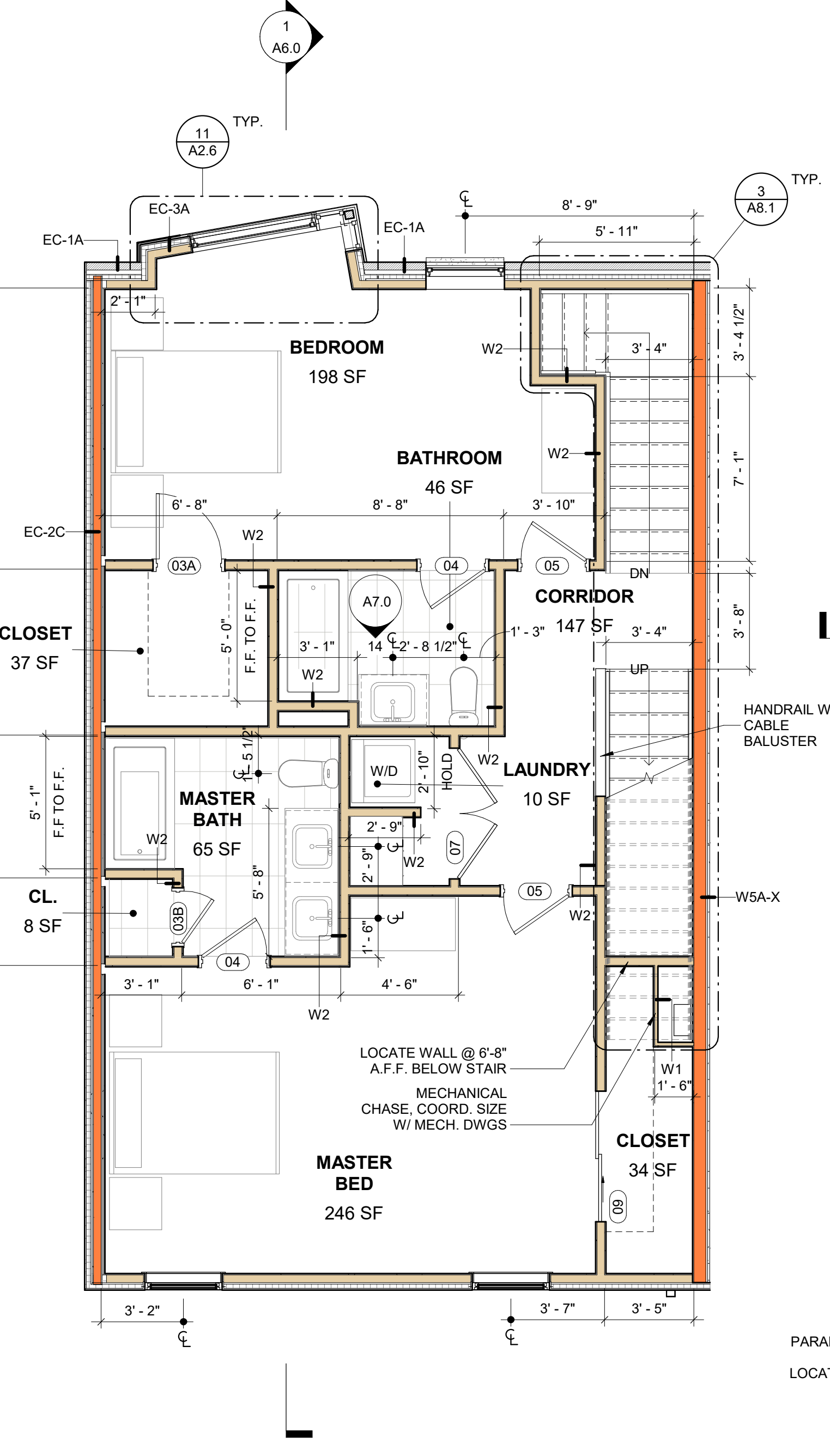
FOR CONSTRUCTION 09/11/20



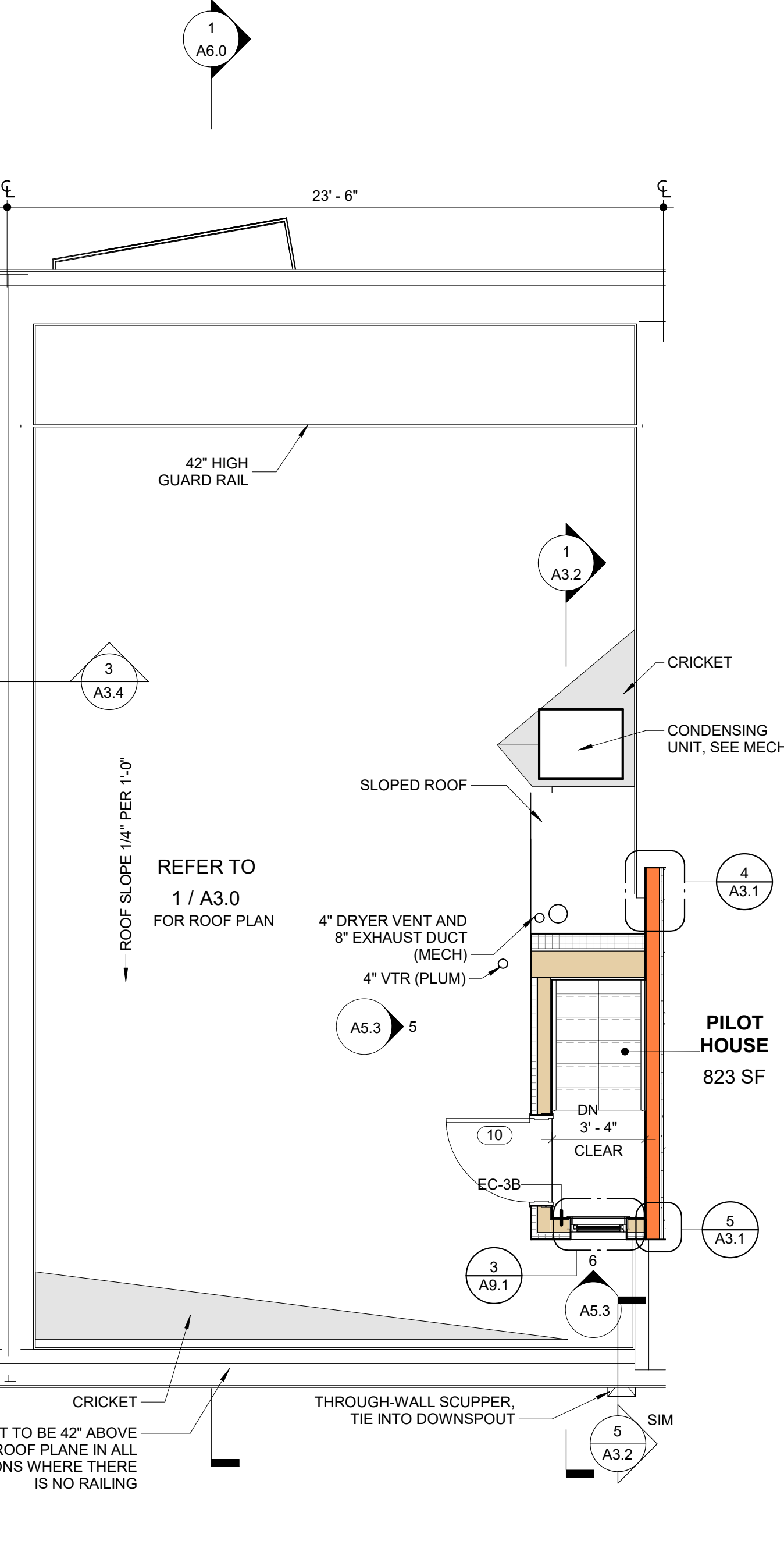
1 CARRIAGE PLAN - TYP - FIRST FLOOR  
1/4" = 1'-0"



2 CARRIAGE PLAN - TYP - SECOND FLOOR  
1/4" = 1'-0"

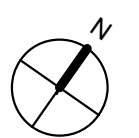


3 CARRIAGE PLAN - TYP - THIRD FLOOR  
1/4" = 1'-0"



4 CARRIAGE PLAN - TYP - PILOT HOUSE PLAN  
1/4" = 1'-0"

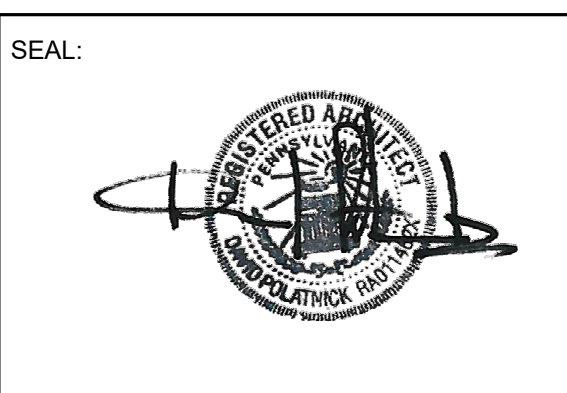
- GENERAL NOTES:**
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**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**

**PLAN DETAILS**

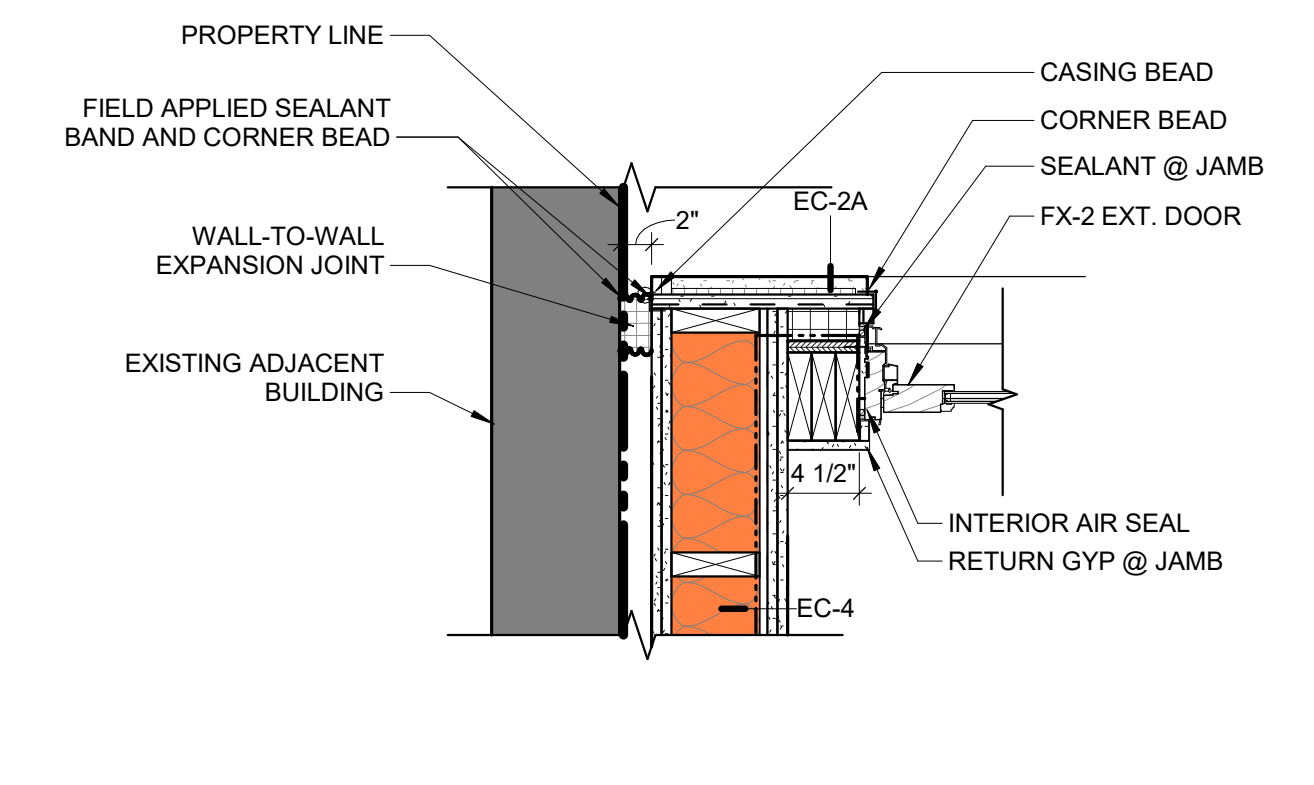
SCALE: 1" = 1'-0" DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

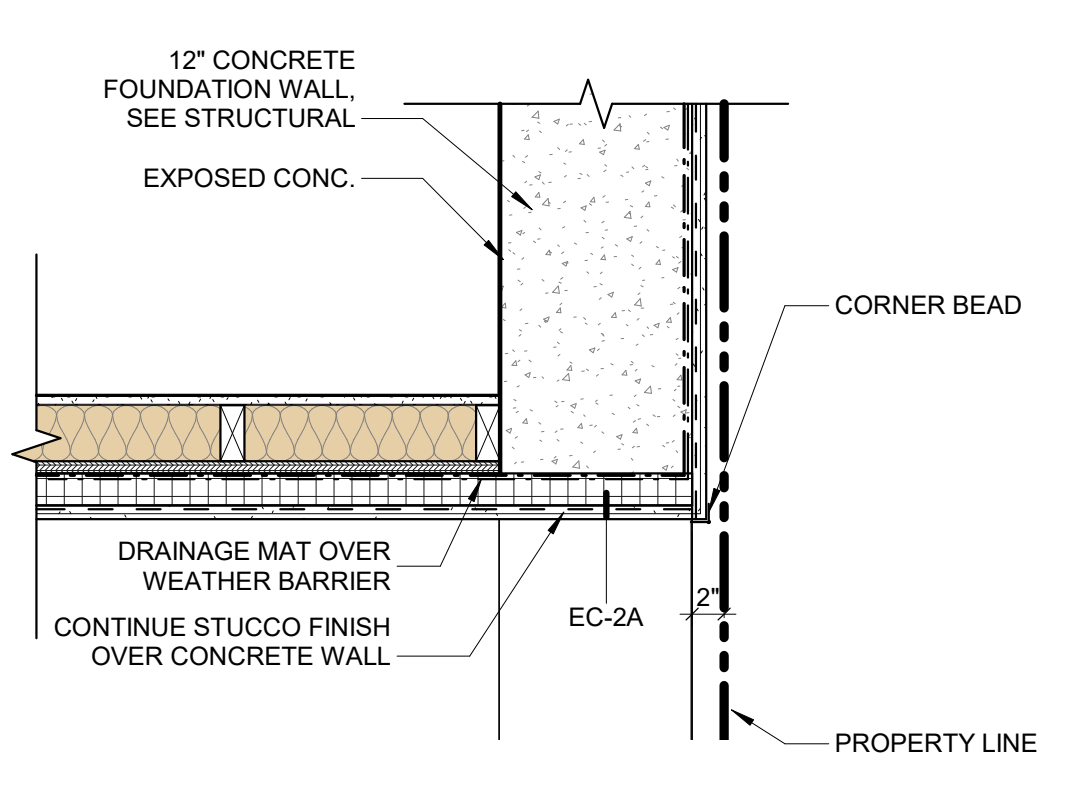
**A2.6**

PROJECT NO. 1915

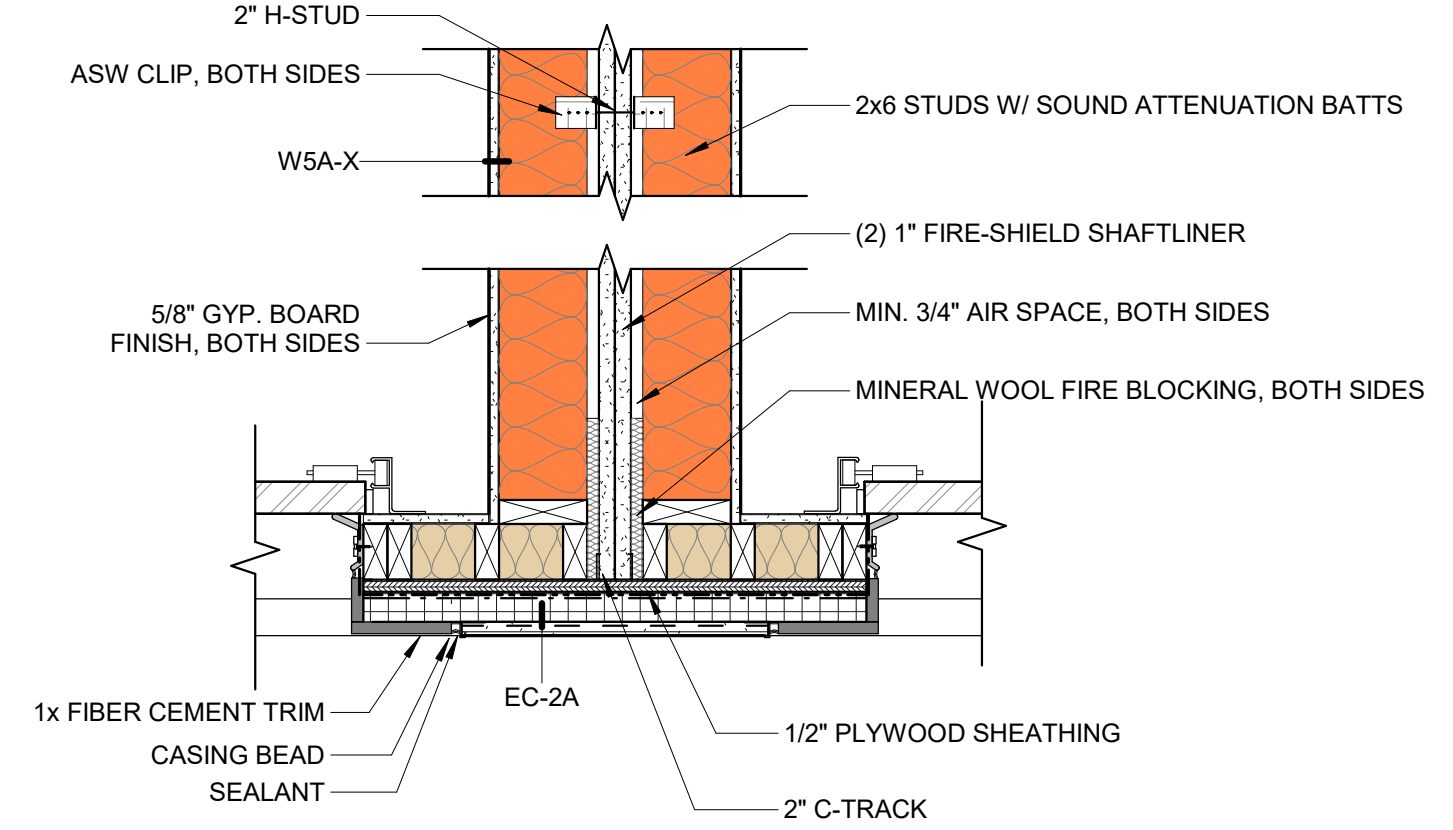
FOR CONSTRUCTION 09/11/20



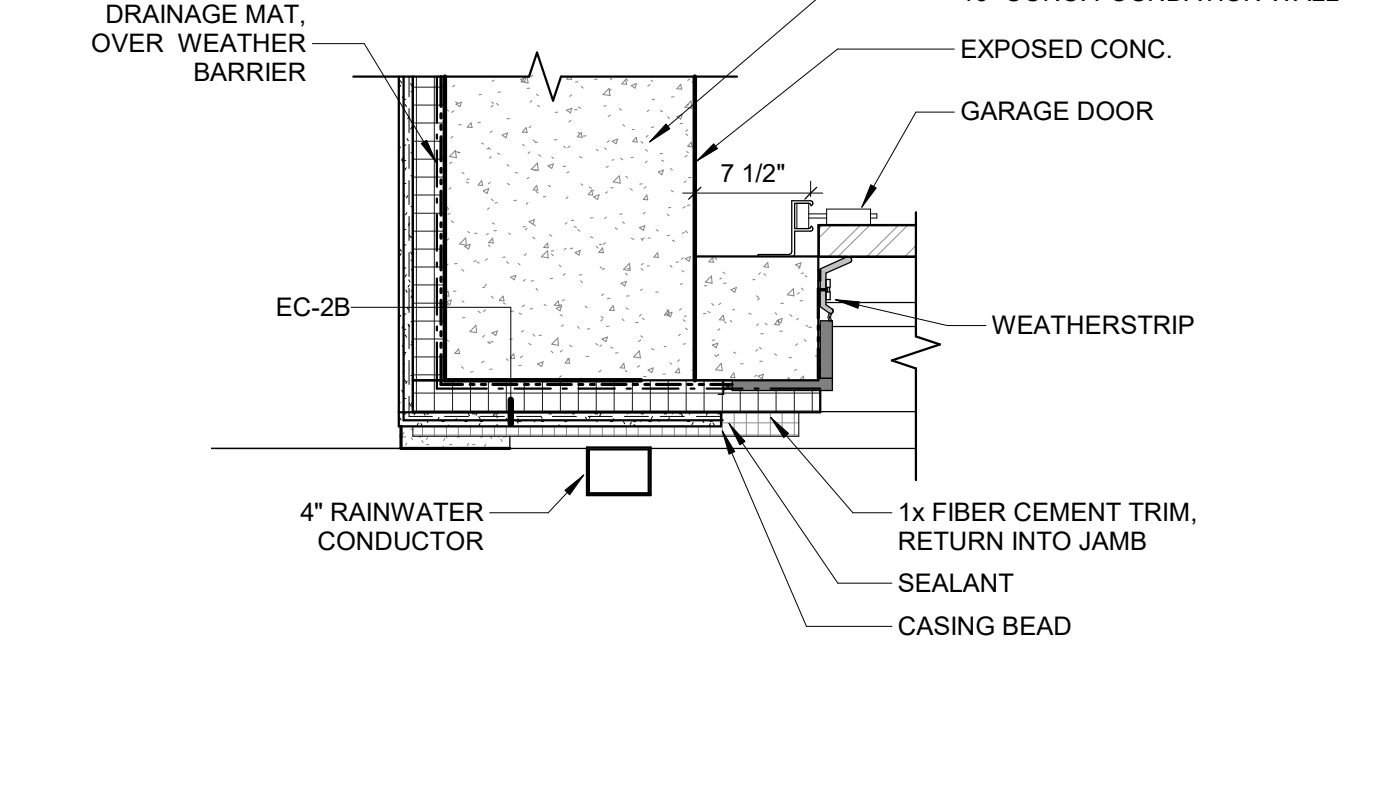
**4 PLAN DETAIL - 2HR WOOD STUD FIREWALL @ STUCCO**  
1" = 1'-0"



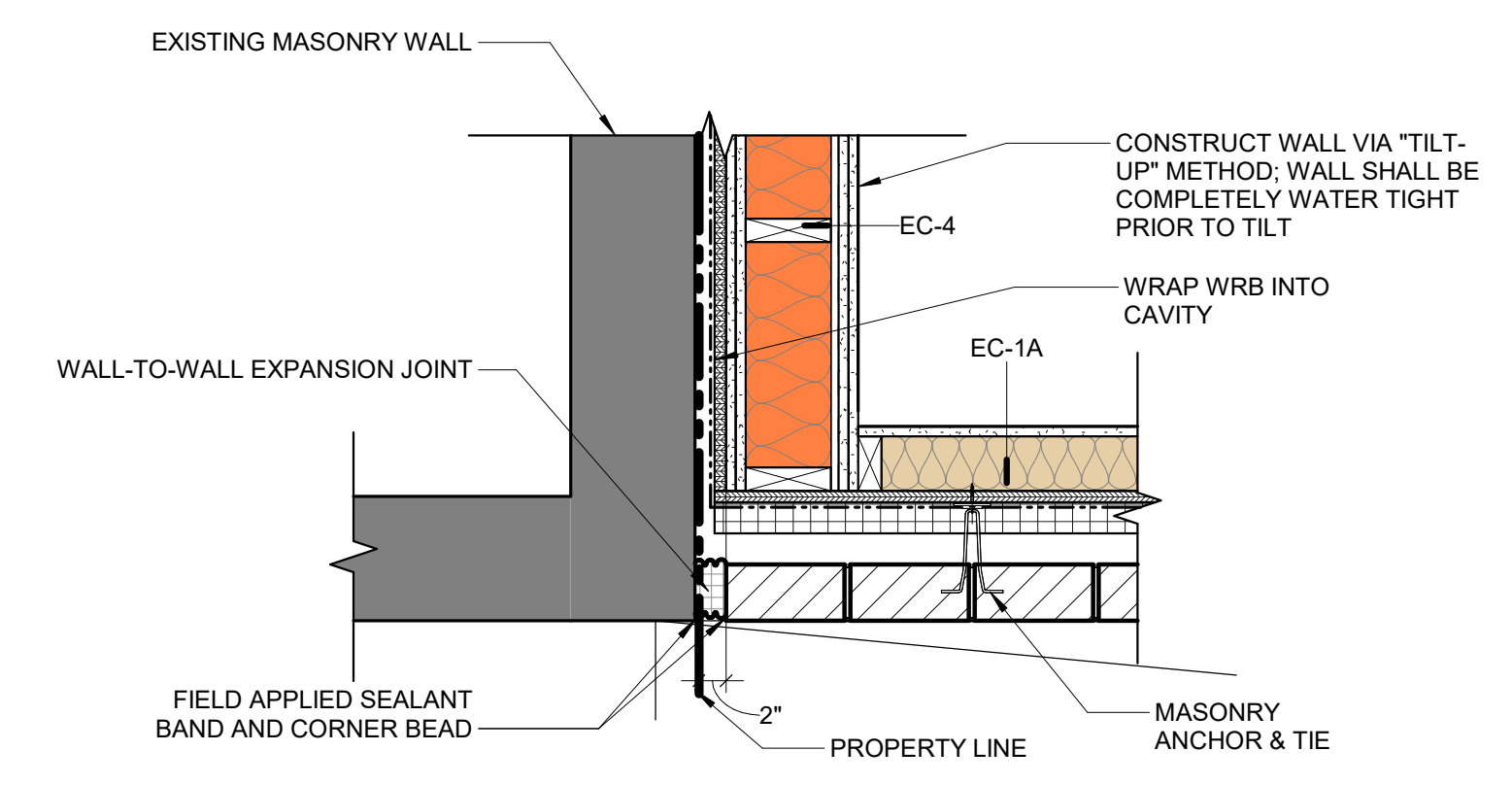
**3 PLAN DETAIL - CORNER @ PROPERTY LINE**  
1" = 1'-0"



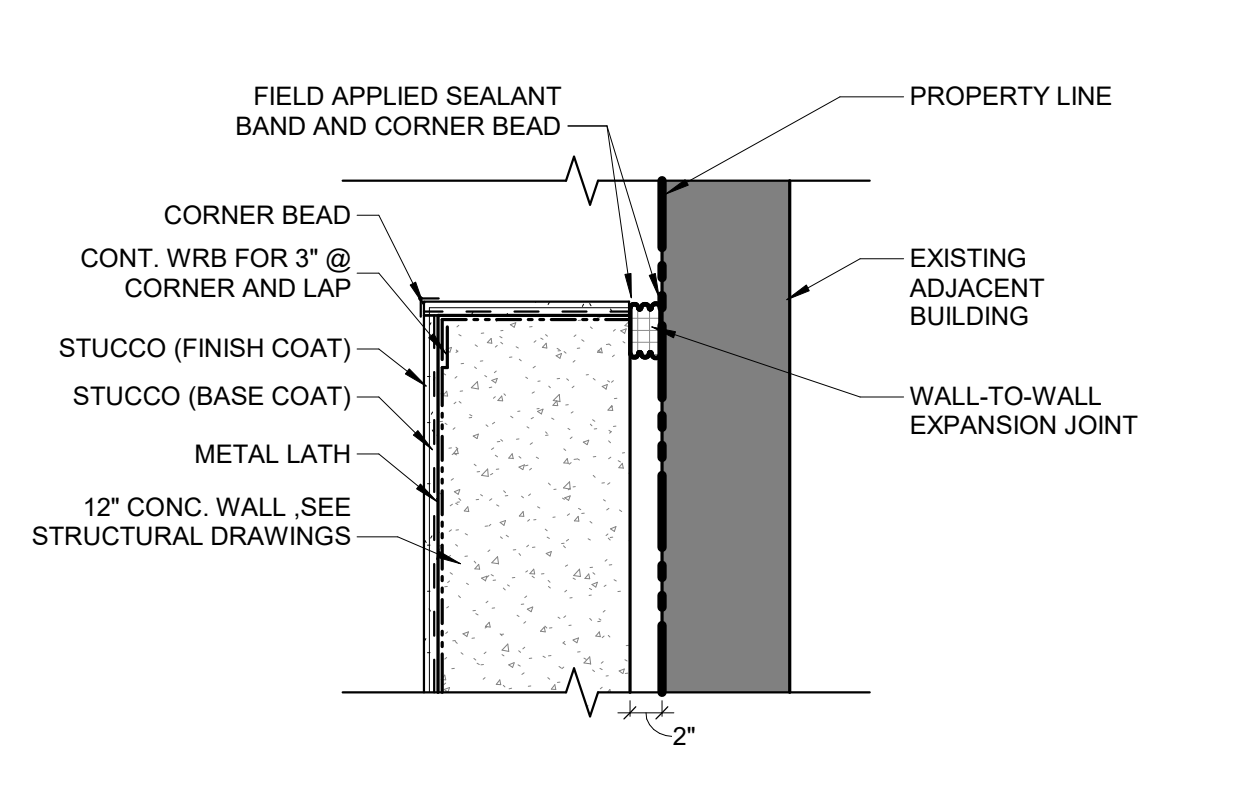
**2 PLAN DETAIL - FIREWALL**  
1" = 1'-0"



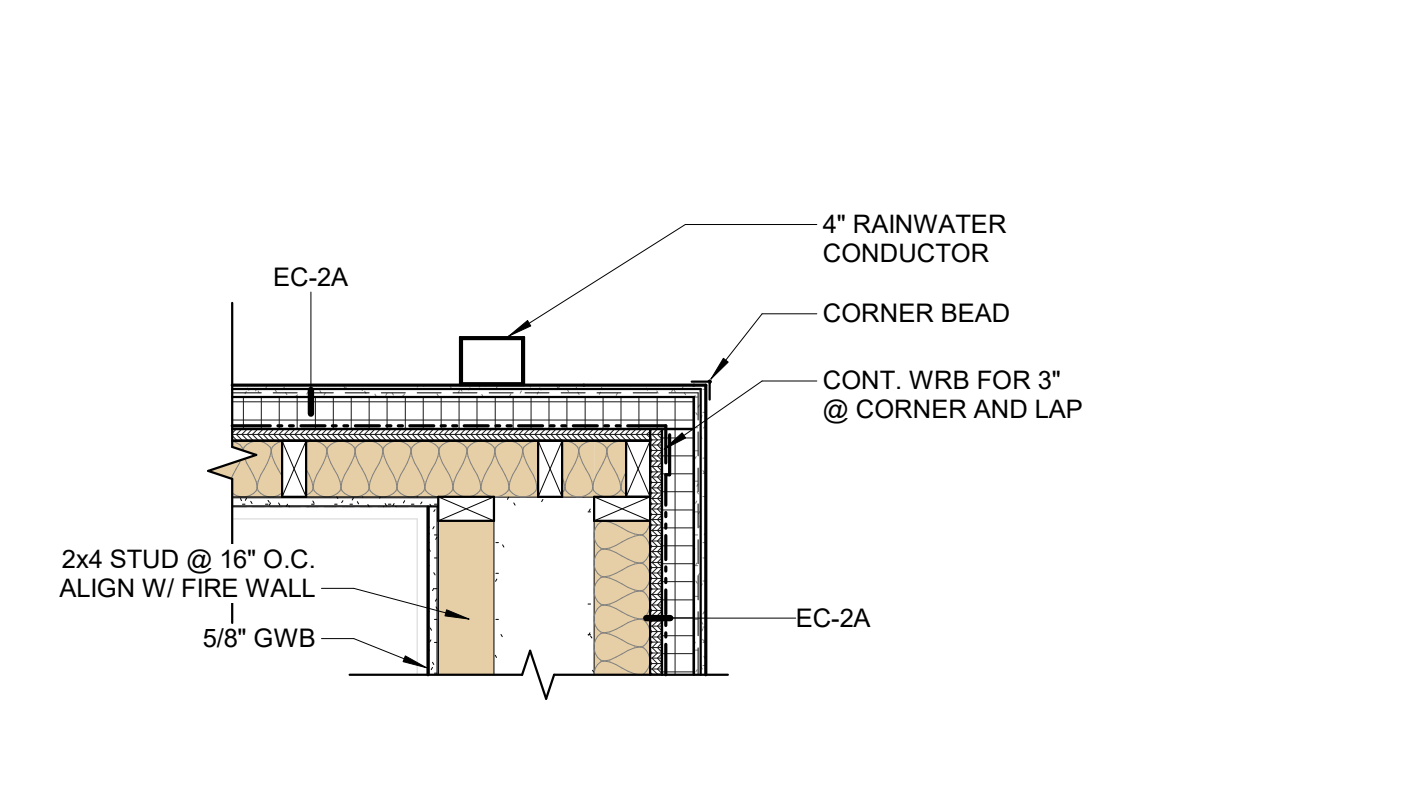
**1 PLAN DETAIL - CORNER @ GARAGE**  
1" = 1'-0"



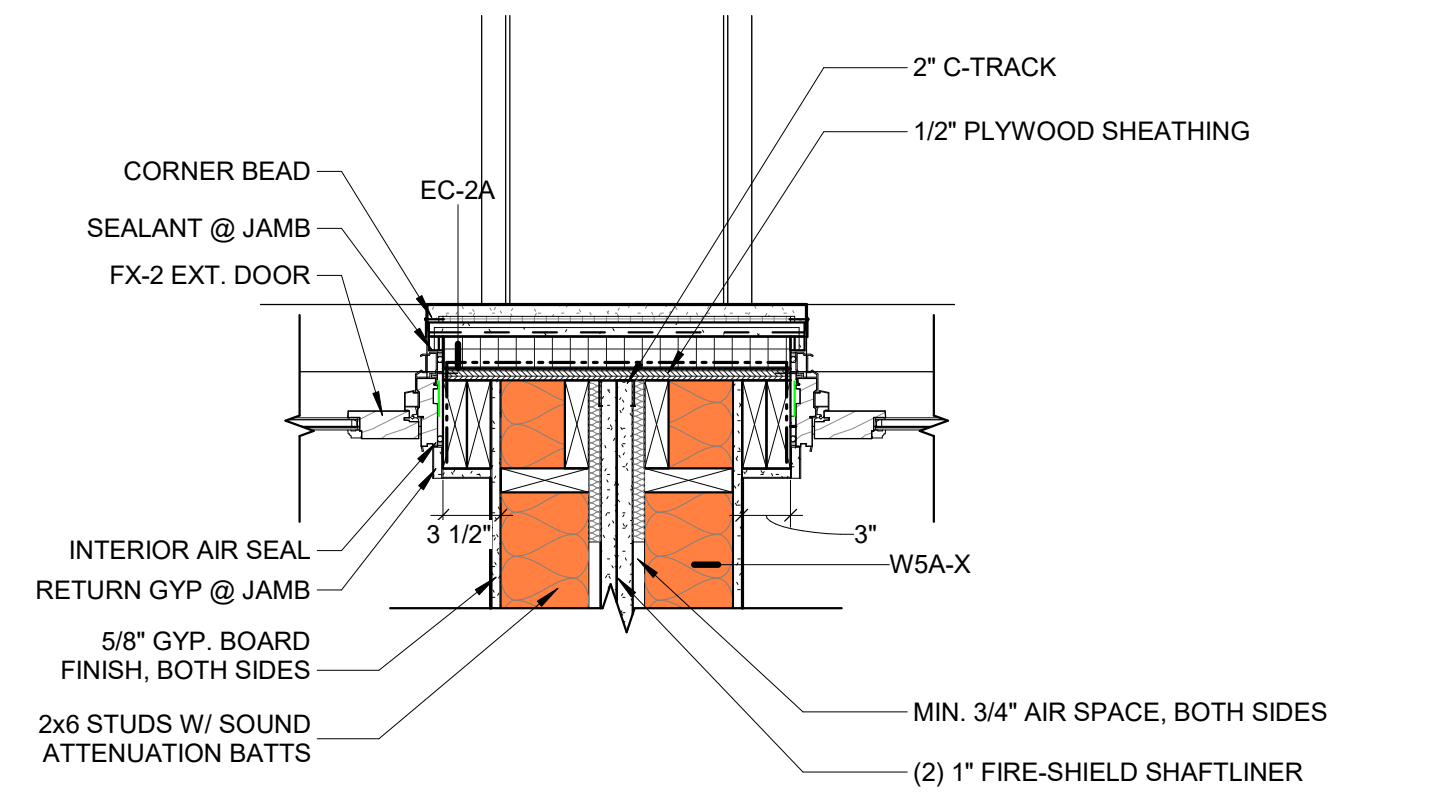
**8 2 HR WOOD STUD FIREWALL @ BRICK**  
1" = 1'-0"



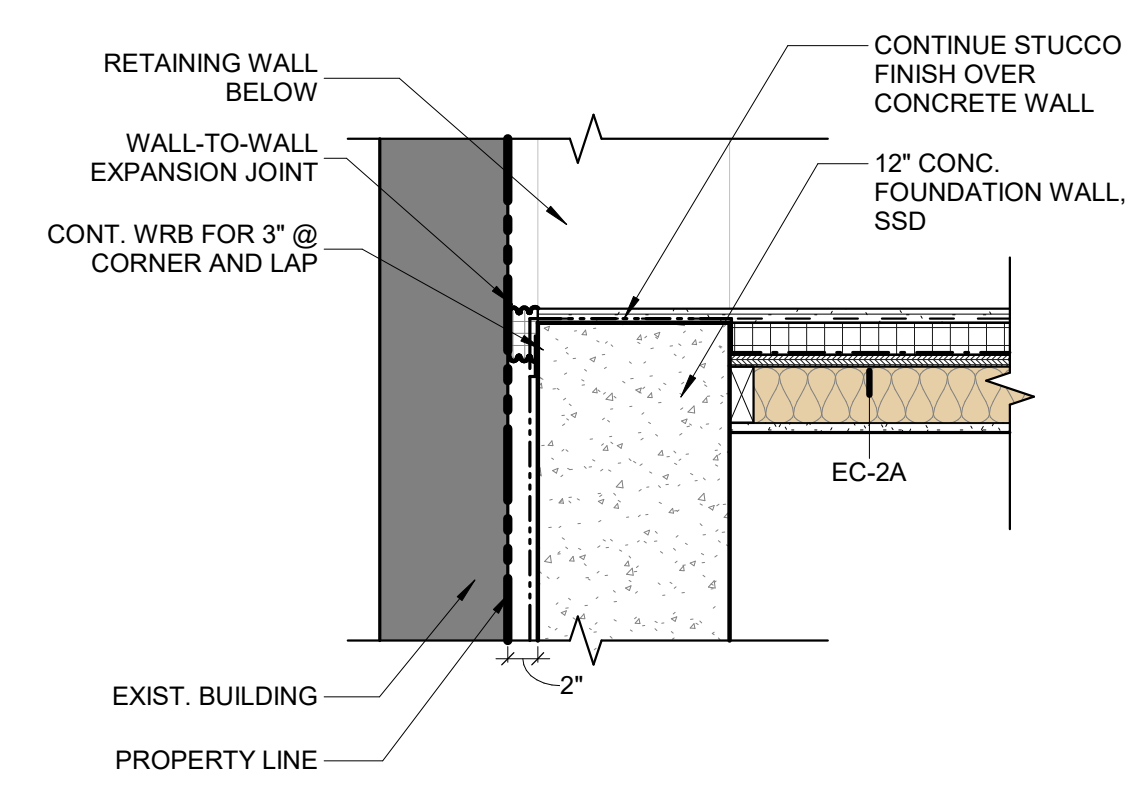
**7 PLAN DETAIL - CONCRETE @ EXISTING**  
1" = 1'-0"



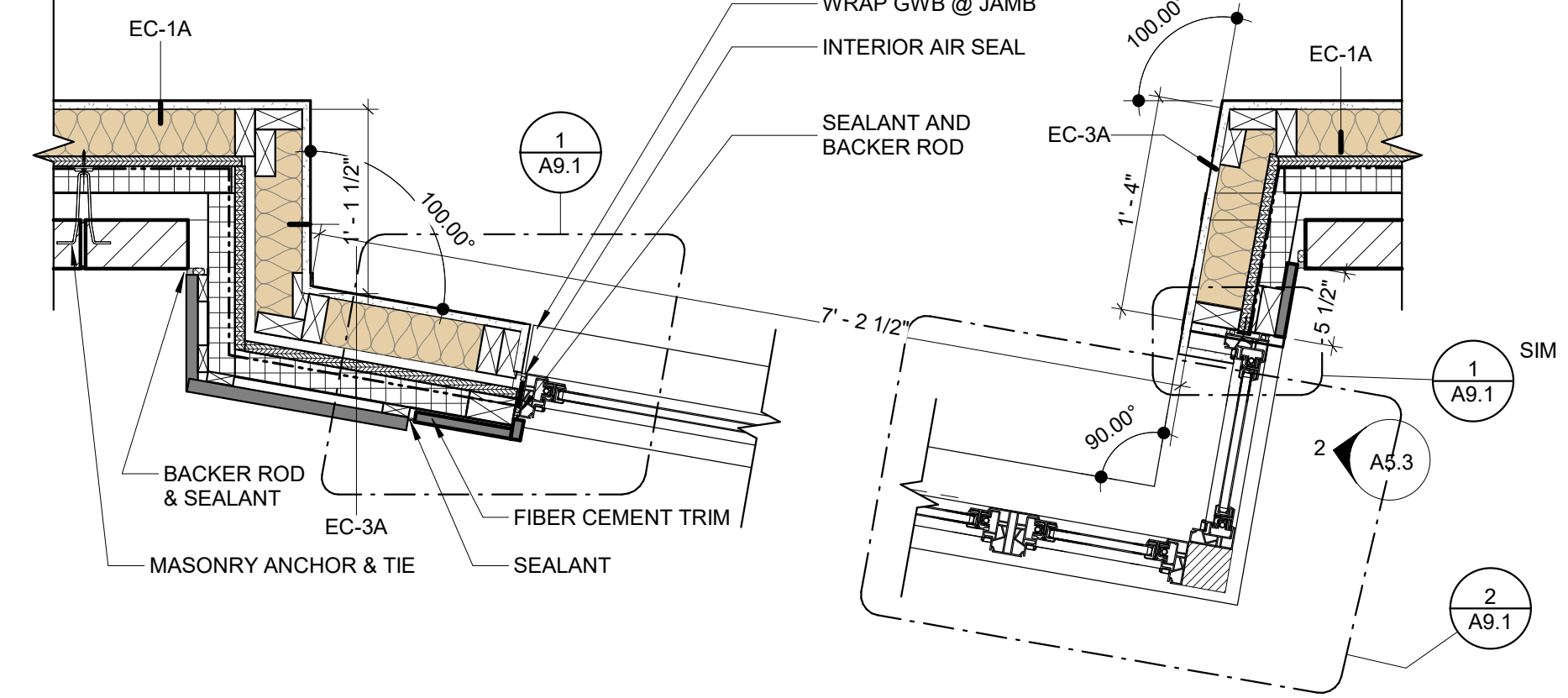
**6 STUCCO CORNER**  
1" = 1'-0"



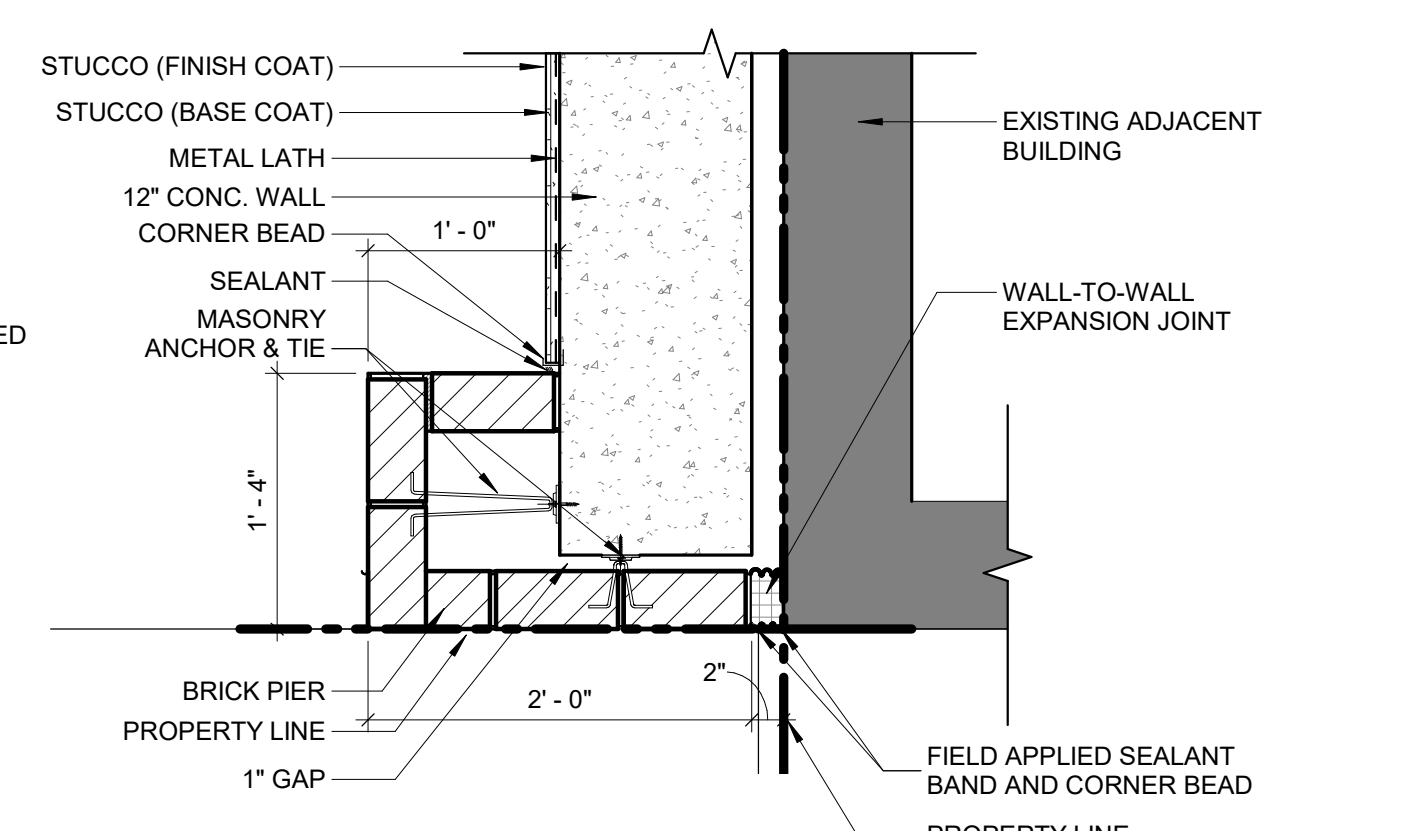
**5 PLAN DETAIL - BALCONY SEPARATION**  
1" = 1'-0"



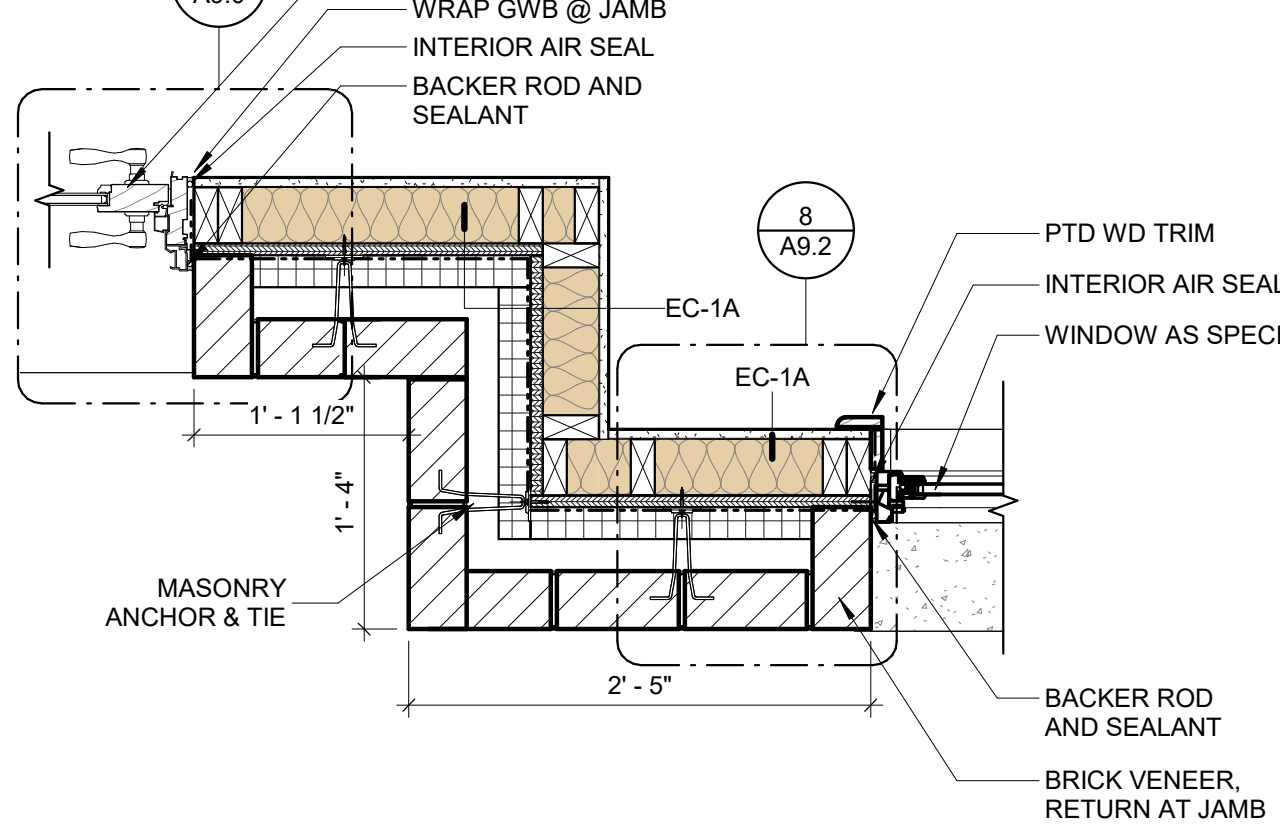
**12 PLAN DETAIL - FOUNDATION WALL @ EXISTING**  
1" = 1'-0"



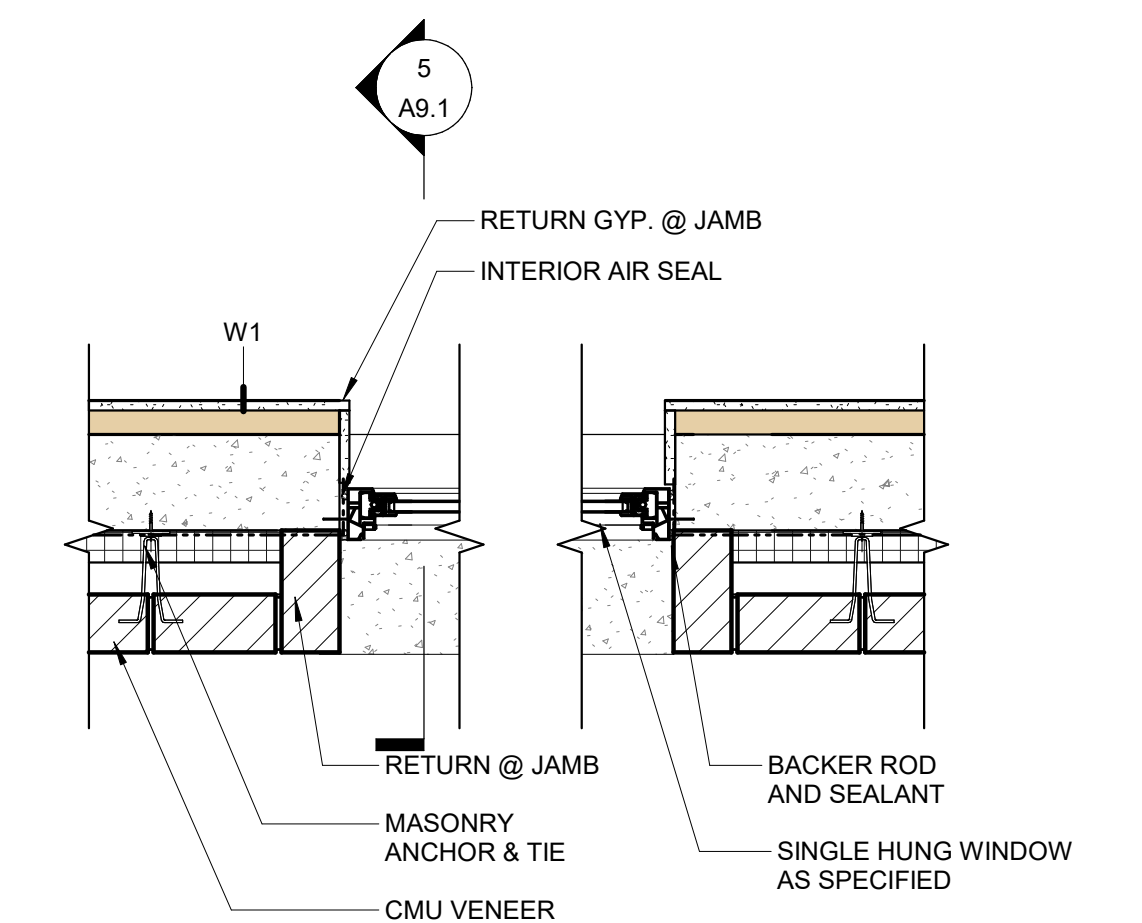
**11 PLAN DETAIL - BAY WINDOW**  
1" = 1'-0"



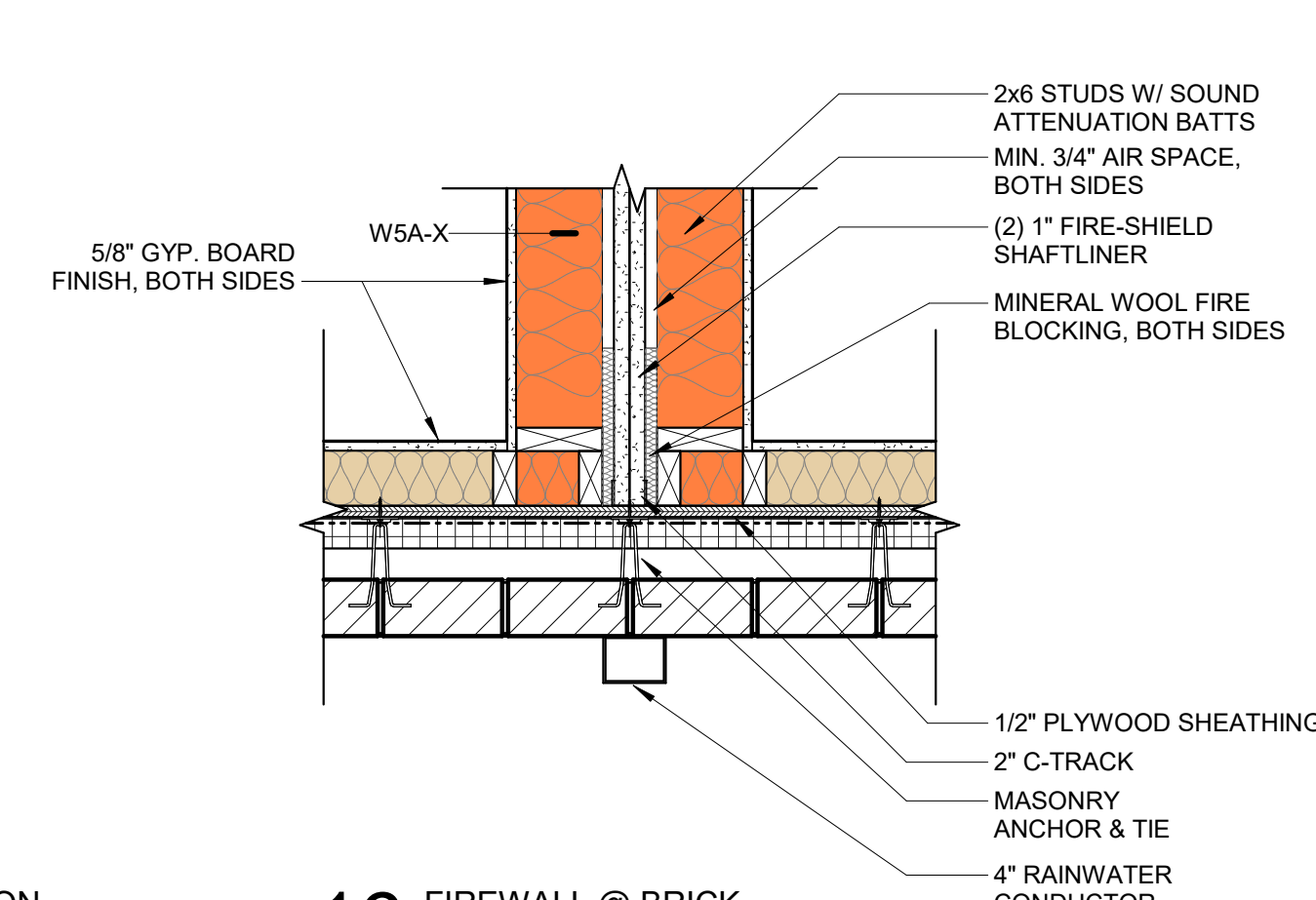
**10 MASONRY WALL @ EXISTING BUILDING**  
1" = 1'-0"



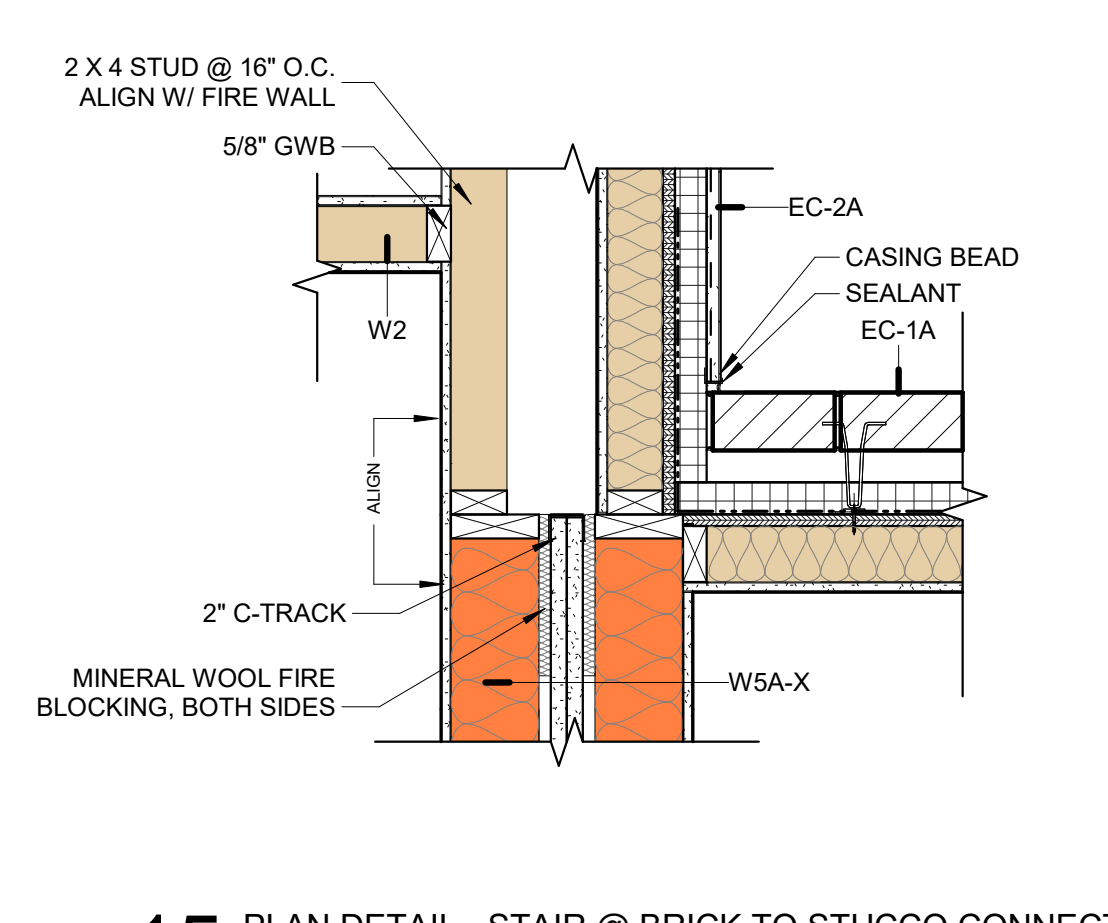
**9 BRICK DETAIL @ ENTRY DOOR**  
1" = 1'-0"



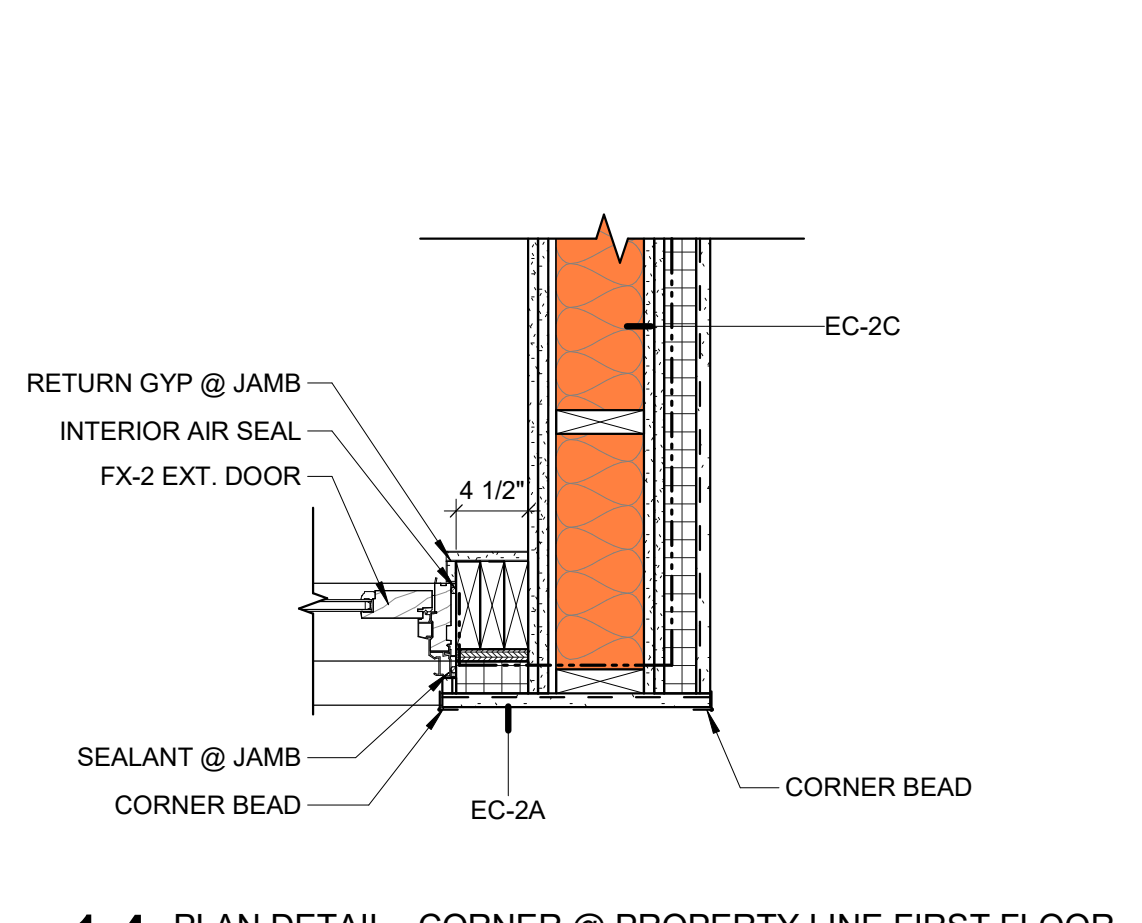
**17 PLAN DETAIL - HOPPER WINDOW @ BASEMENT**  
1" = 1'-0"



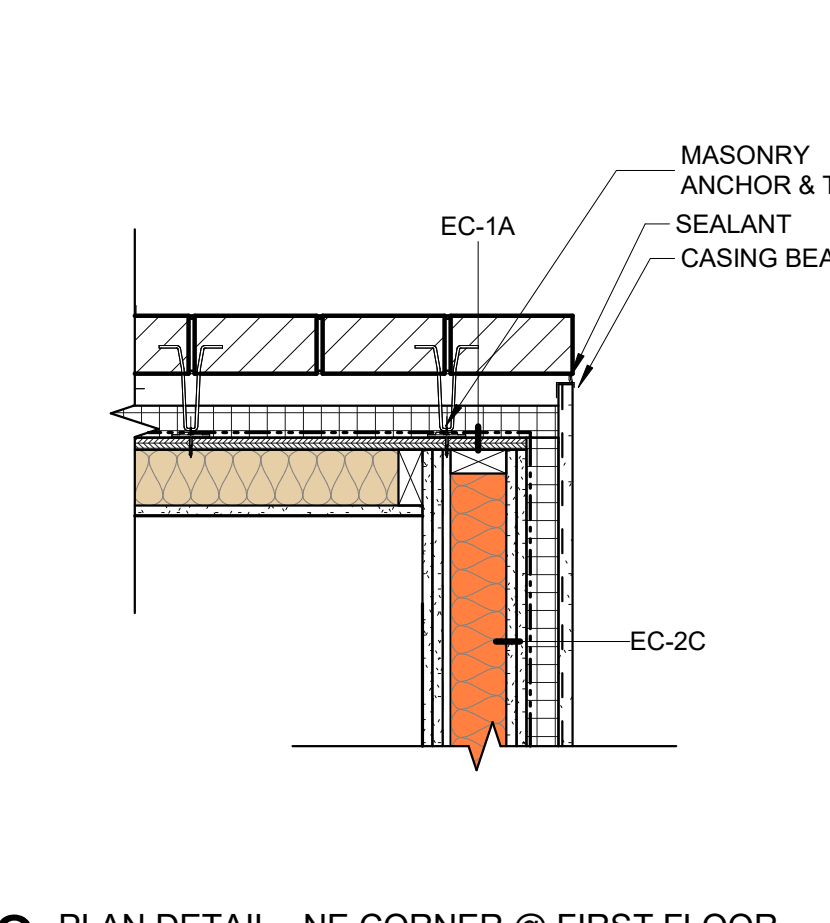
**16 FIREWALL @ BRICK**  
1" = 1'-0"



**15 PLAN DETAIL - STAIR @ BRICK TO STUCCO CONNECTION**  
1" = 1'-0"



**14 PLAN DETAIL - CORNER @ PROPERTY LINE FIRST FLOOR**  
1" = 1'-0"

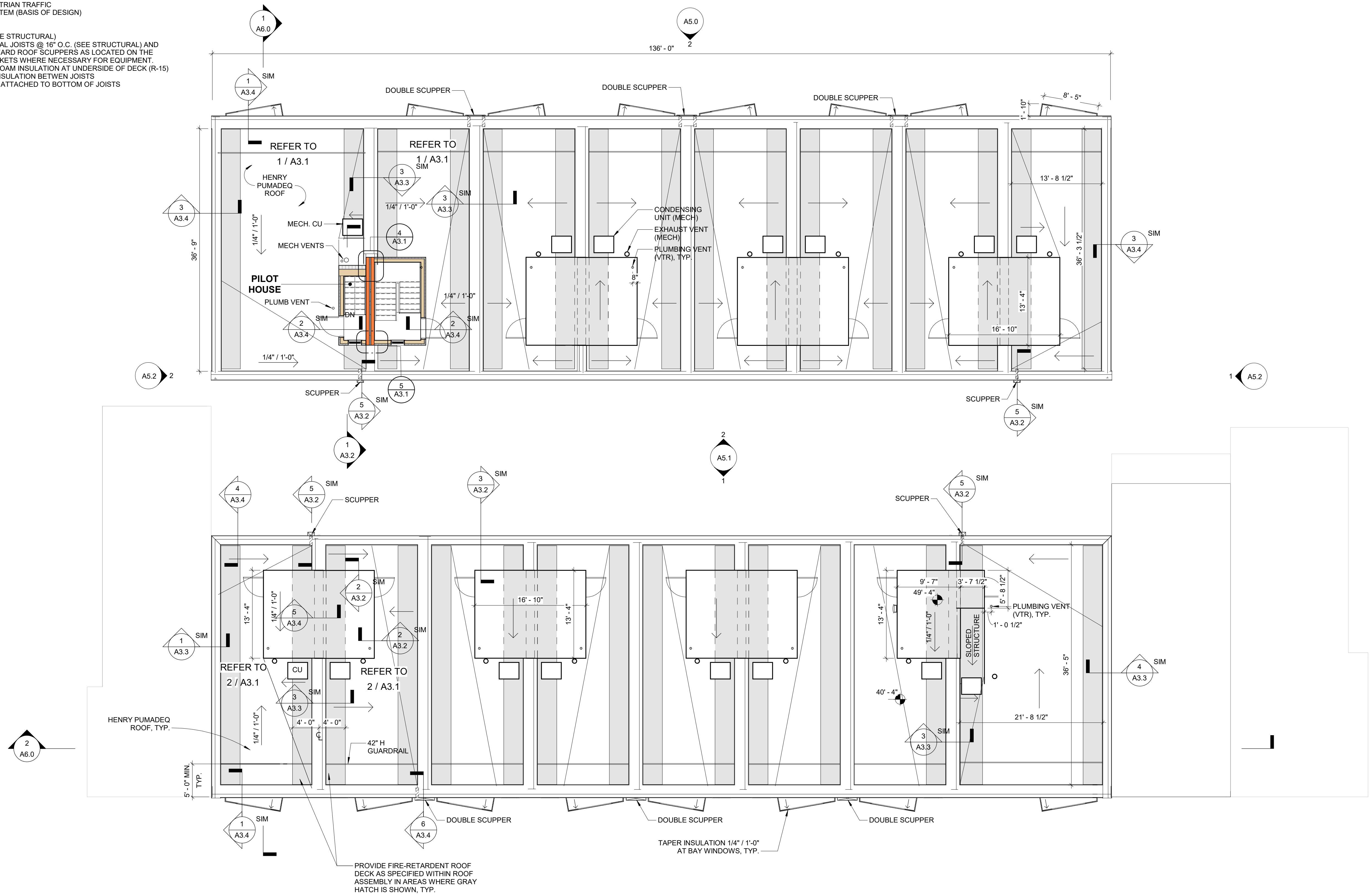


**13 PLAN DETAIL - NE CORNER @ FIRST FLOOR**  
1" = 1'-0"

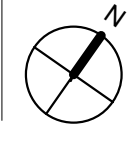


- TYPICAL ROOF ASSEMBLY:**
- EXTERIOR:
    - HENRY PUMADEQ PEDESTRIAN TRAFFIC WATERPROOFING SYSTEM (BASIS OF DESIGN)
    - 1/2" CEMENT BOARD
    - TAPERED RIGID INSULATION (MIN. R-15)
    - MIN. 40 PSI COMPRESSIVE STRENGTH
    - VAPOR BARRIER
    - 3/4" T&G WOOD DECK (SEE STRUCTURAL)
    - ROOF STRUCTURAL JOISTS @ 16" O.C. (SEE STRUCTURAL) WITH R-35 FIBERGLASS BATT INSULATION ATTACHED TO DECK AND BETWEEN JOISTS
  - INTERIOR:
    - 1/2" GYP. BOARD CEILING ATTACHED TO BOTTOM OF JOISTS

- ALTERNATE ROOF ASSEMBLY:**
- EXTERIOR:
    - HENRY PUMADEQ PEDESTRIAN TRAFFIC WATERPROOFING SYSTEM (BASIS OF DESIGN)
    - 1/2" CEMENT BOARD
    - VAPOR BARRIER
    - 3/4" T&G WOOD DECK (SEE STRUCTURAL)
    - SLOPE ROOF STRUCTURAL JOISTS @ 16" O.C. (SEE STRUCTURAL) AND SLOPE (1/4" / 1'-0") TOWARD ROOF SCUPPERS AS LOCATED ON THE PLANS. PROVIDE CRICKETS WHERE NECESSARY FOR EQUIPMENT.
    - 4" CLOSED CELL SPRAY FOAM INSULATION AT UNDERSIDE OF DECK (R-15)
    - R-30 FIBERGLASS BATT INSULATION BETWEEN JOISTS
  - INTERIOR:
    - 1/2" GYP. BOARD CEILING ATTACHED TO BOTTOM OF JOISTS



**1 ROOF PLAN**  
1/8" = 1'-0"



**P Z S**  
**ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

**PROJECT NAME**  
SALMON STREET TOWNHOUSES  
2656-70 SALMON ST.  
PHILADELPHIA, PA 19125

**PROJECT TEAM**

**OWNER**  
KIDDNA, LLC  
1516 N 5TH ST., STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

**STRUCTURAL**  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

**SYSTEMS**  
BHG CONSULTING, INC  
1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

**CIVIL ENGINEER**  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

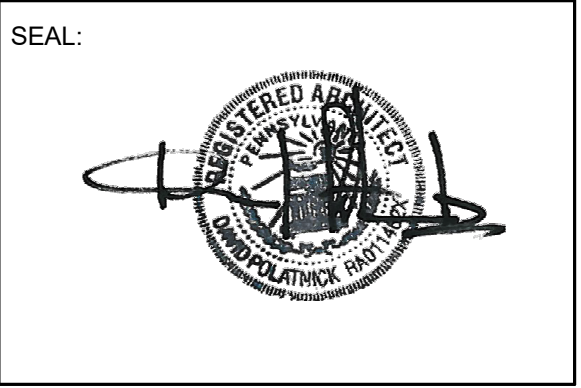
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**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**

# ROOF PLAN

SCALE: 1/8" = 1'-0" DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

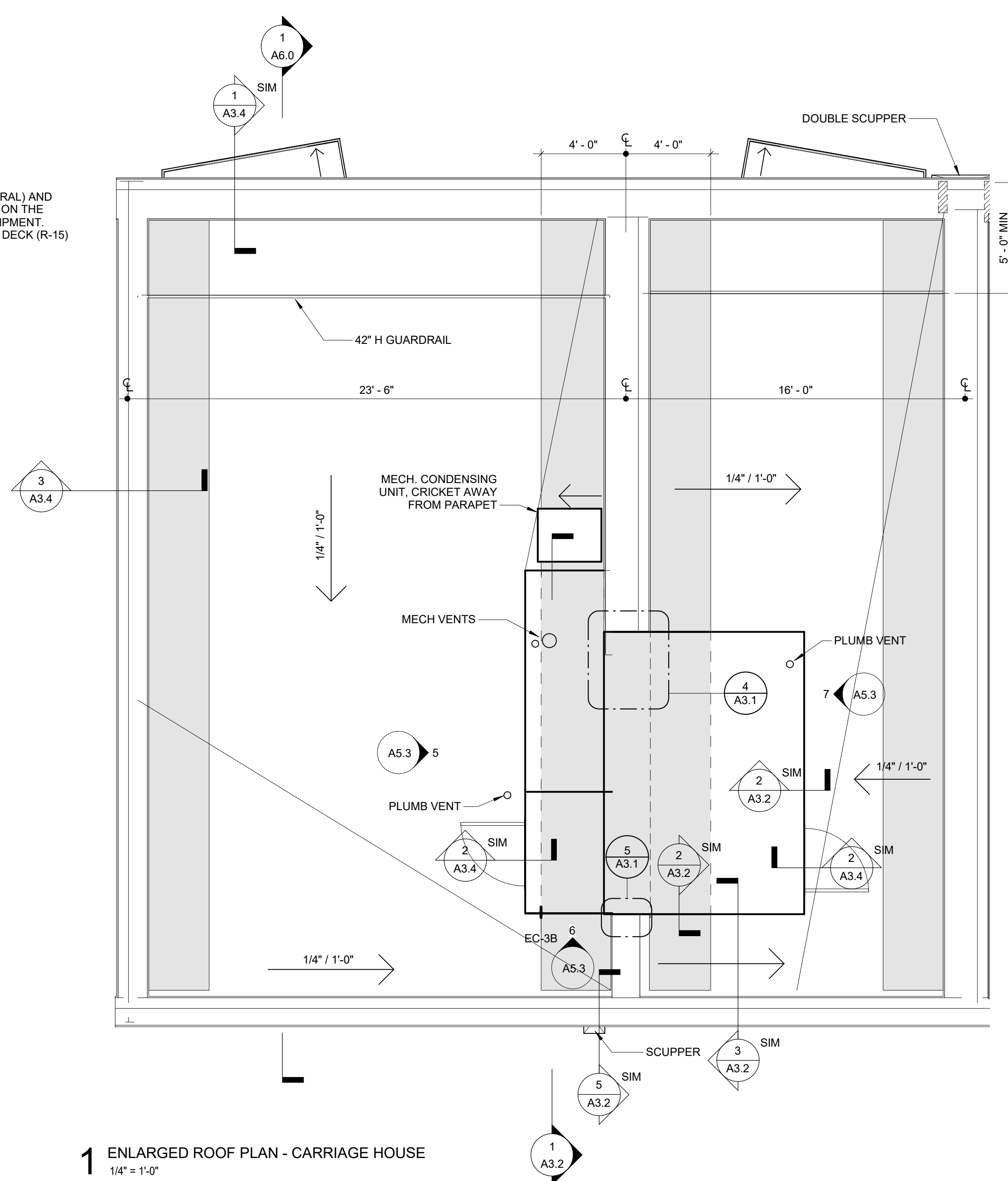
# A3.0

PROJECT NO. 1915

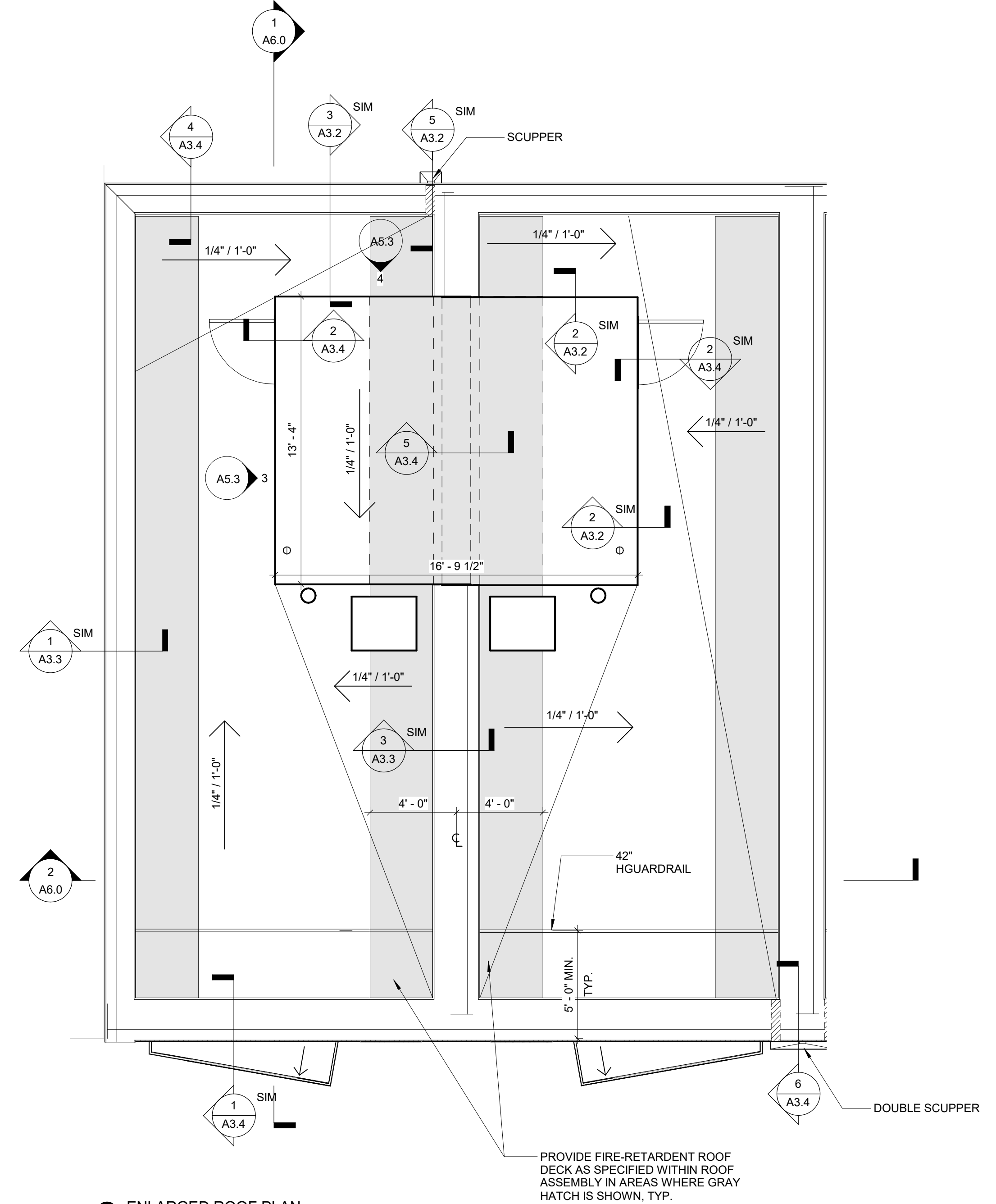
FOR CONSTRUCTION 09/11/20

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  - MIN. 40 PSI COMPRESSIVE STRENGTH
  - VAPOR BARRIER
  - 3/4" T&G WOOD DECK (SEE STRUCTURAL)
  - ROOF STRUCTURAL JOISTS @ 16" O.C. (SEE STRUCTURAL) WITH R-35 FIBERGLASS BATT INSULATION ATTACHED TO DECK AND BETWEEN JOISTS
- INTERIOR:
- 1/2" GYP. BOARD CEILING ATTACHED TO BOTTOM OF JOISTS

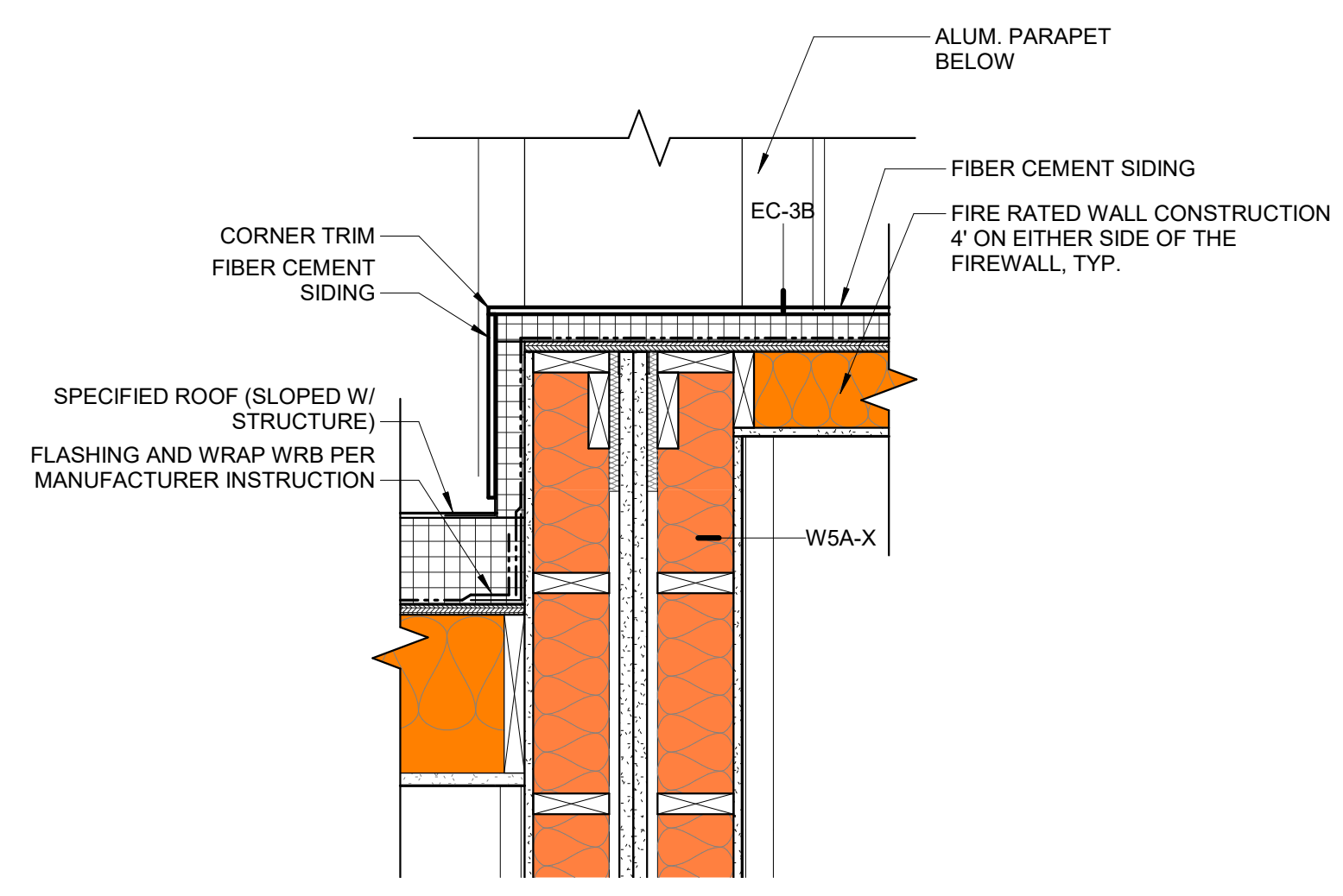
- ALTERNATE ROOF ASSEMBLY:**
- EXTERIOR:
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  - 3/4" T&G WOOD DECK (SEE STRUCTURAL)
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  - 4" CLOSED CELL SPRAY FOAM INSULATION AT UNDERSIDE OF DECK (R-15)
  - R-30 FIBERGLASS BATT INSULATION BETWEEN JOISTS
  - 1/2" GYP. BOARD CEILING ATTACHED TO BOTTOM OF JOISTS
- INTERIOR:
- 1/2" GYP. BOARD CEILING ATTACHED TO BOTTOM OF JOISTS



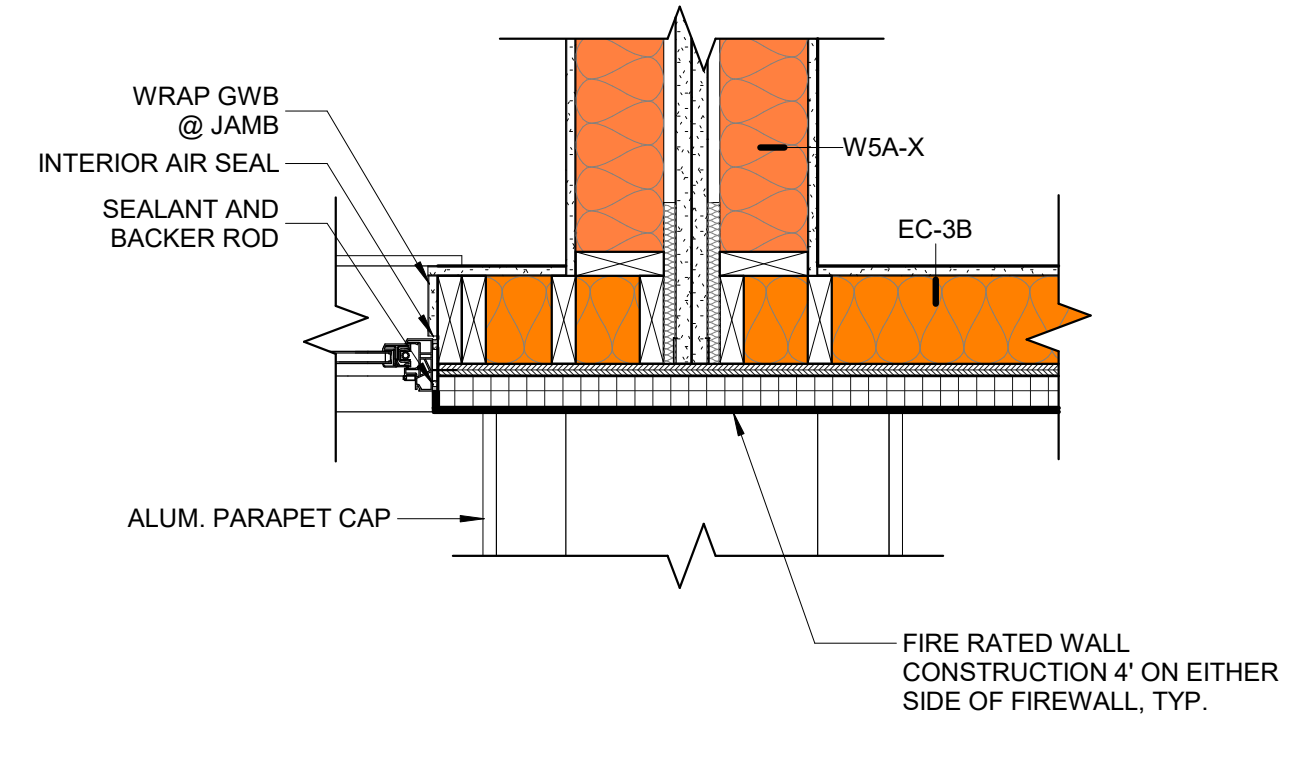
1 ENLARGED ROOF PLAN - CARRIAGE HOUSE  
1/4" = 1'-0"



2 ENLARGED ROOF PLAN  
1/4" = 1'-0"



4 PLAN DETAIL - FIREWALL @ PILOT HOUSE  
1" = 1'-0"



5 PLAN DETAIL - FIREWALL SEPERATION @ PILOT HOUSE  
1" = 1'-0"

**P Z S ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

PROJECT NAME  
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2656-70 SALMON ST  
PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER  
KIDDNA, LLC  
1516 N 5TH ST, STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

STRUCTURAL  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

SYSTEMS  
BHG CONSULTING, INC  
1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

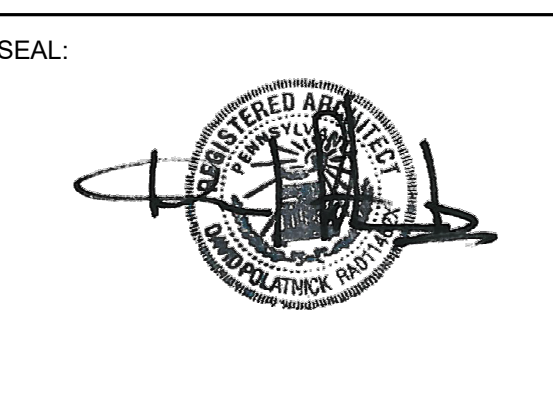
CIVIL ENGINEER  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

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REVISIONS

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DRAWING TITLE  
**ENLARGED ROOF PLANS & DETAILS**

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.  
**A3.1**

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20

- GENERAL NOTES:**
1. REFER TO MANUFACTURER'S WEBSITE FOR MOST UP-TO-DATE INFORMATION.
  2. PLEASE SEE FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
  3. ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
  4. ALL SEALANTS / CAULKING SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE BUILDING OWNER THROUGHOUT THE LIFE OF THE ROOF.

**PROJECT NAME**

SALMON STREET TOWNHOUSES  
2656-70 SALMON ST.  
PHILADELPHIA, PA 19125

**PROJECT TEAM**

**OWNER**  
KIDDNA, LLC  
1516 N 5TH ST, STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

**STRUCTURAL**  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
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**SEAL:**



**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**

**ROOF DETAILS**

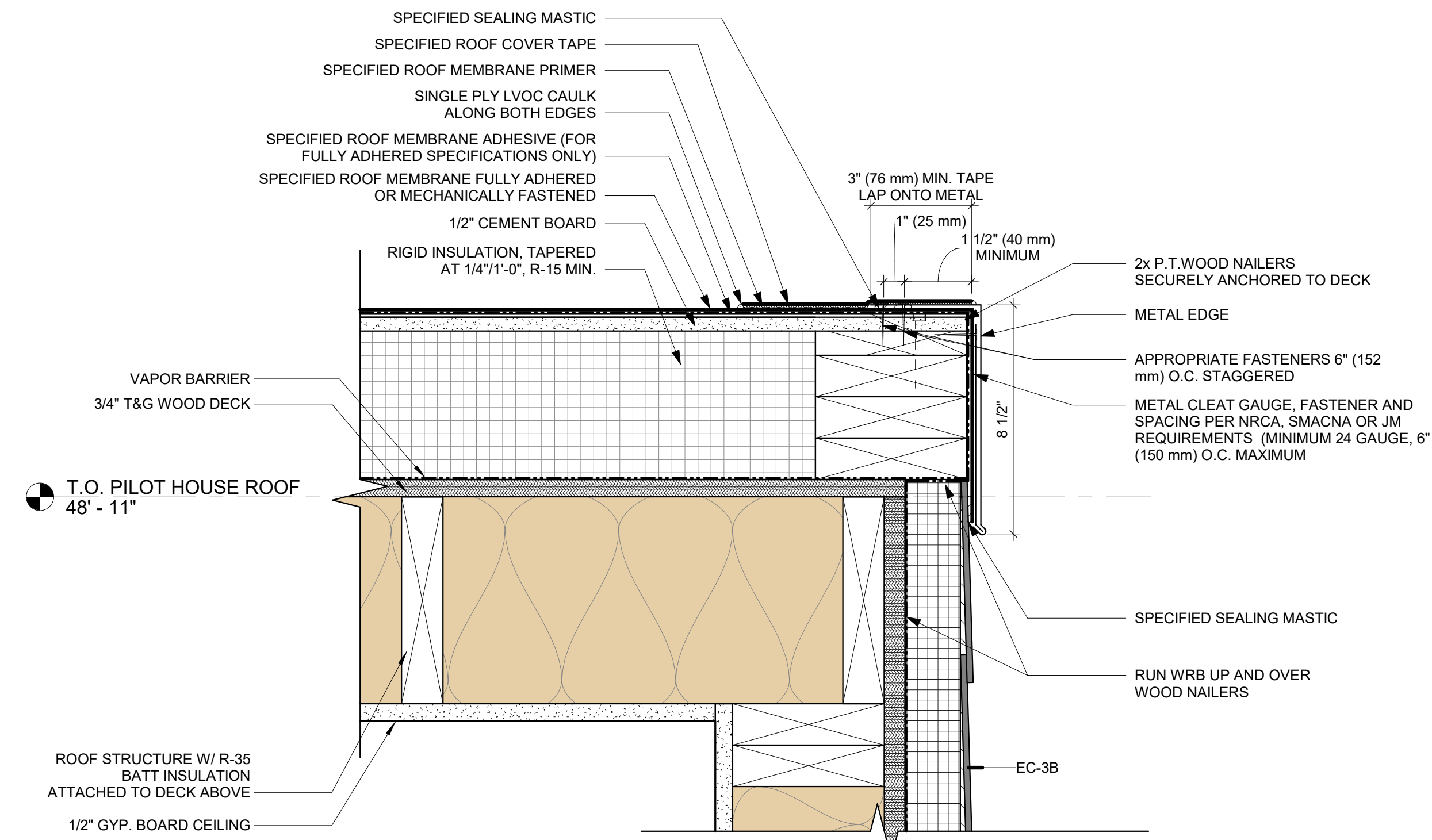
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DATE: 09/11/20 CHECKED BY: DP

**SHEET NO.**

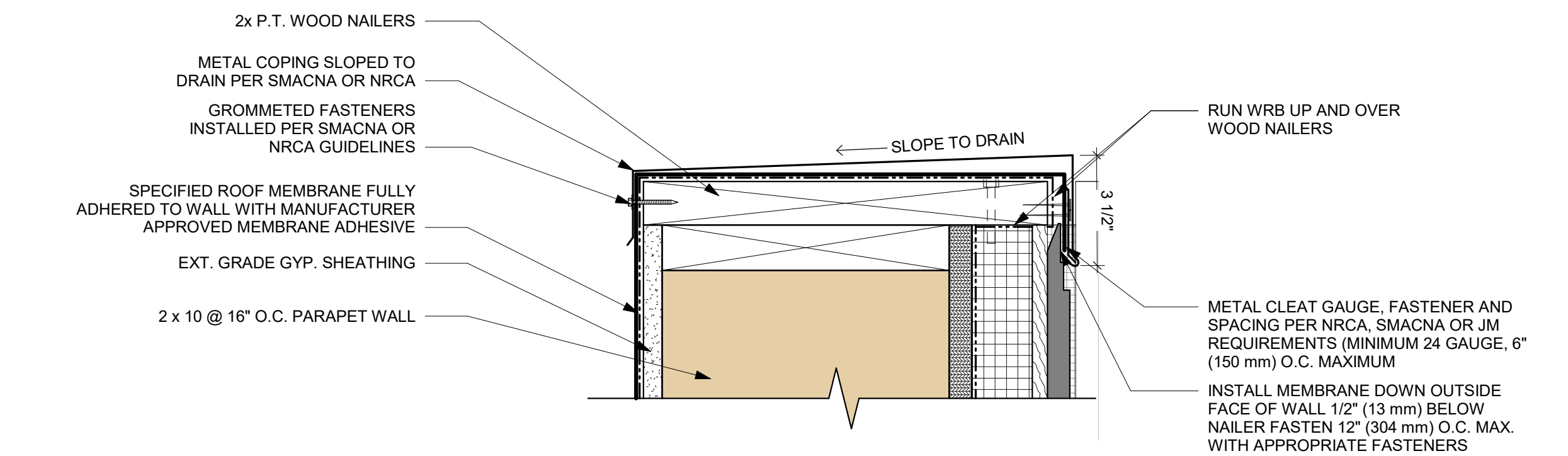
**A3.2**

PROJECT NO. 1915

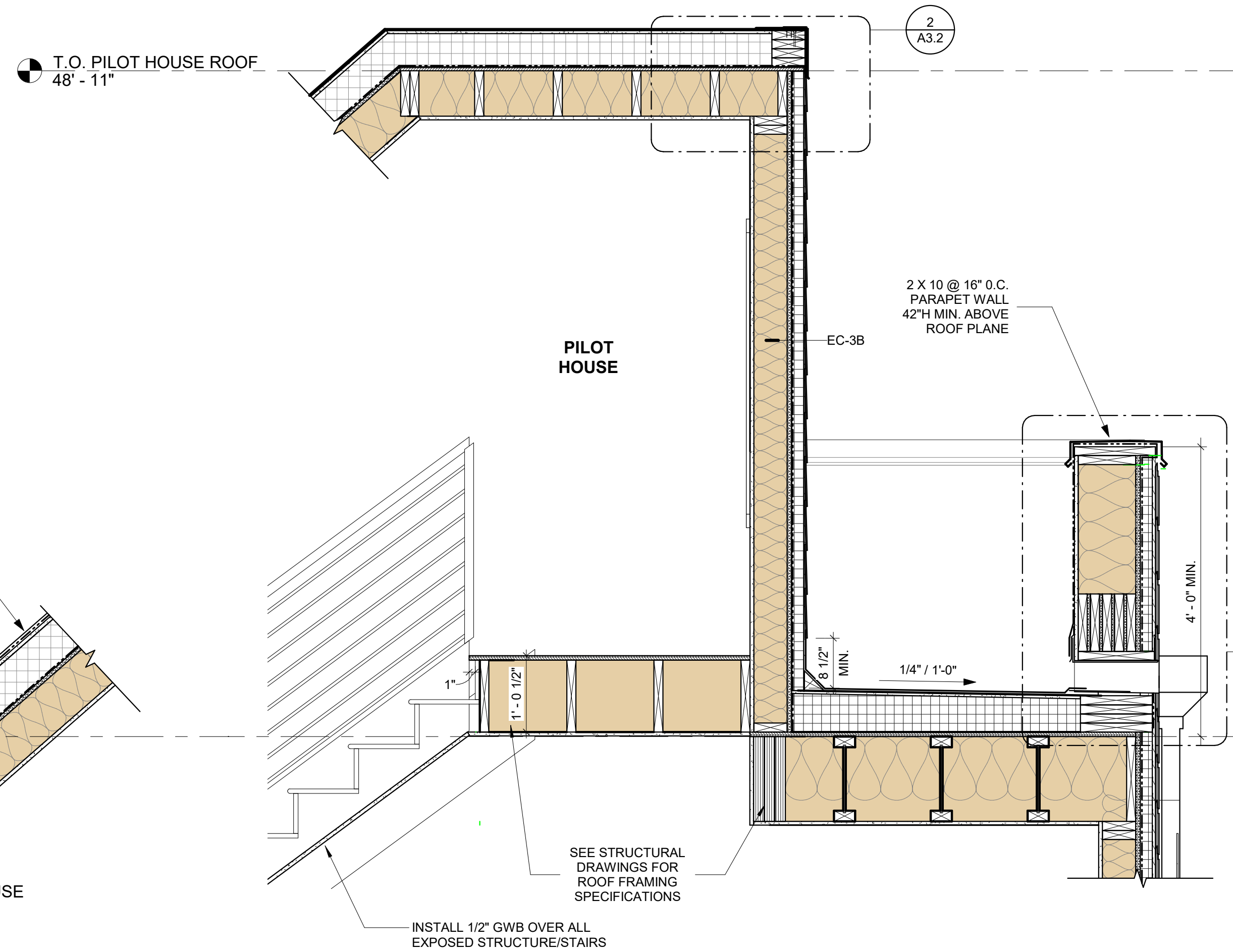
FOR CONSTRUCTION 09/11/20



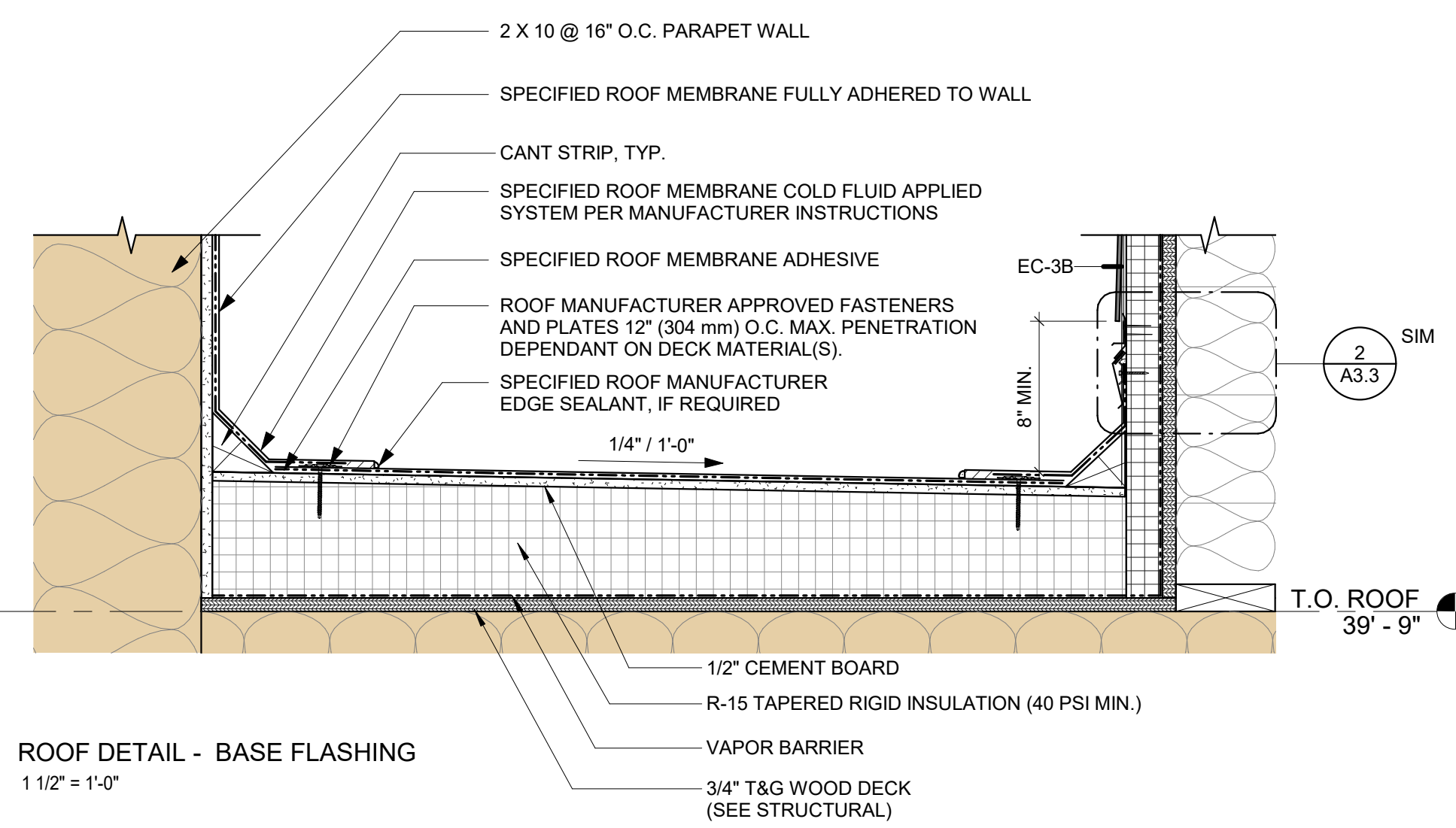
**2 ROOF DETAIL - PILOT HOUSE**  
3' = 1'-0"



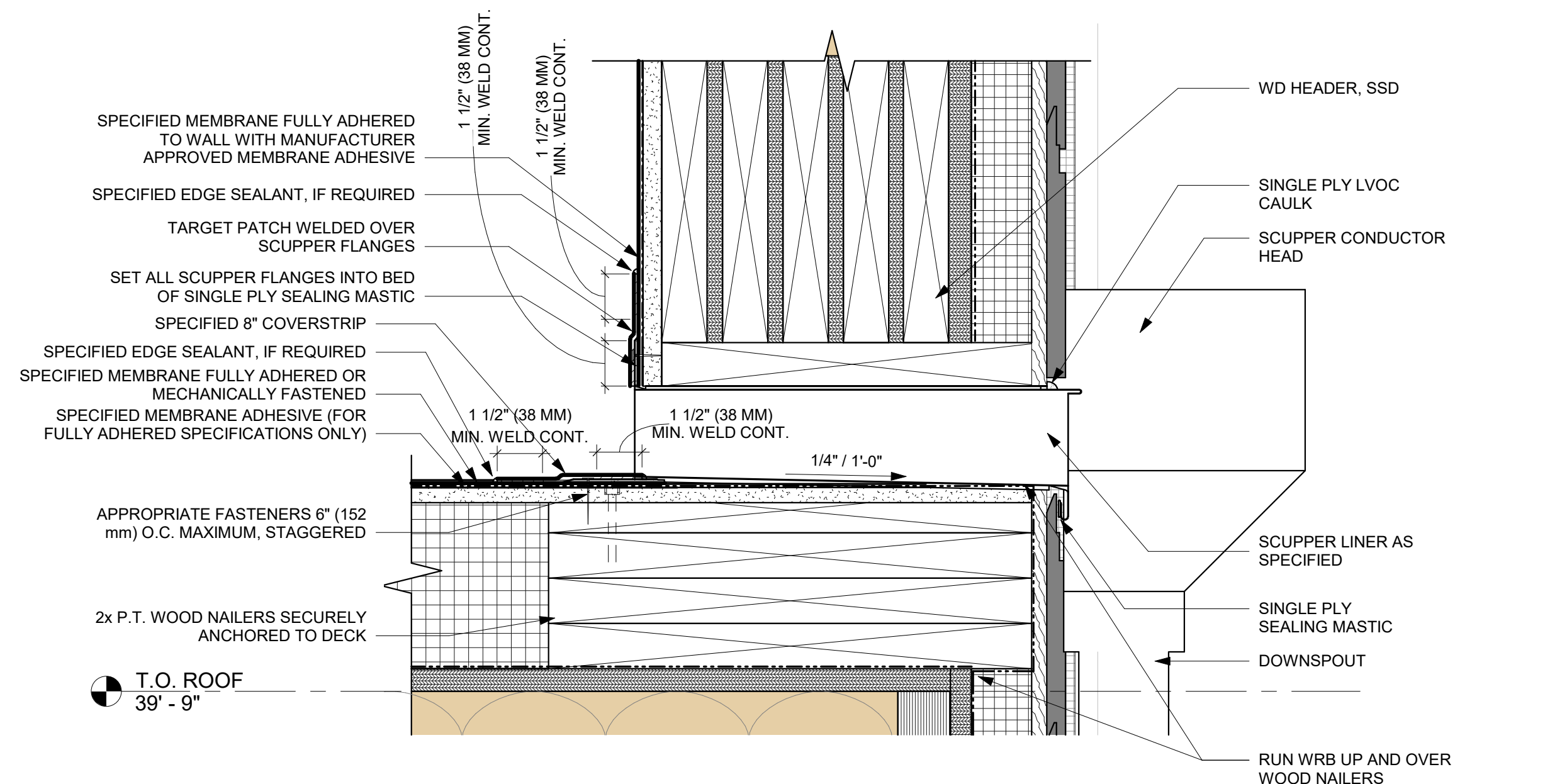
**5 ROOF DETAIL - SCUPPER**  
3' = 1'-0"



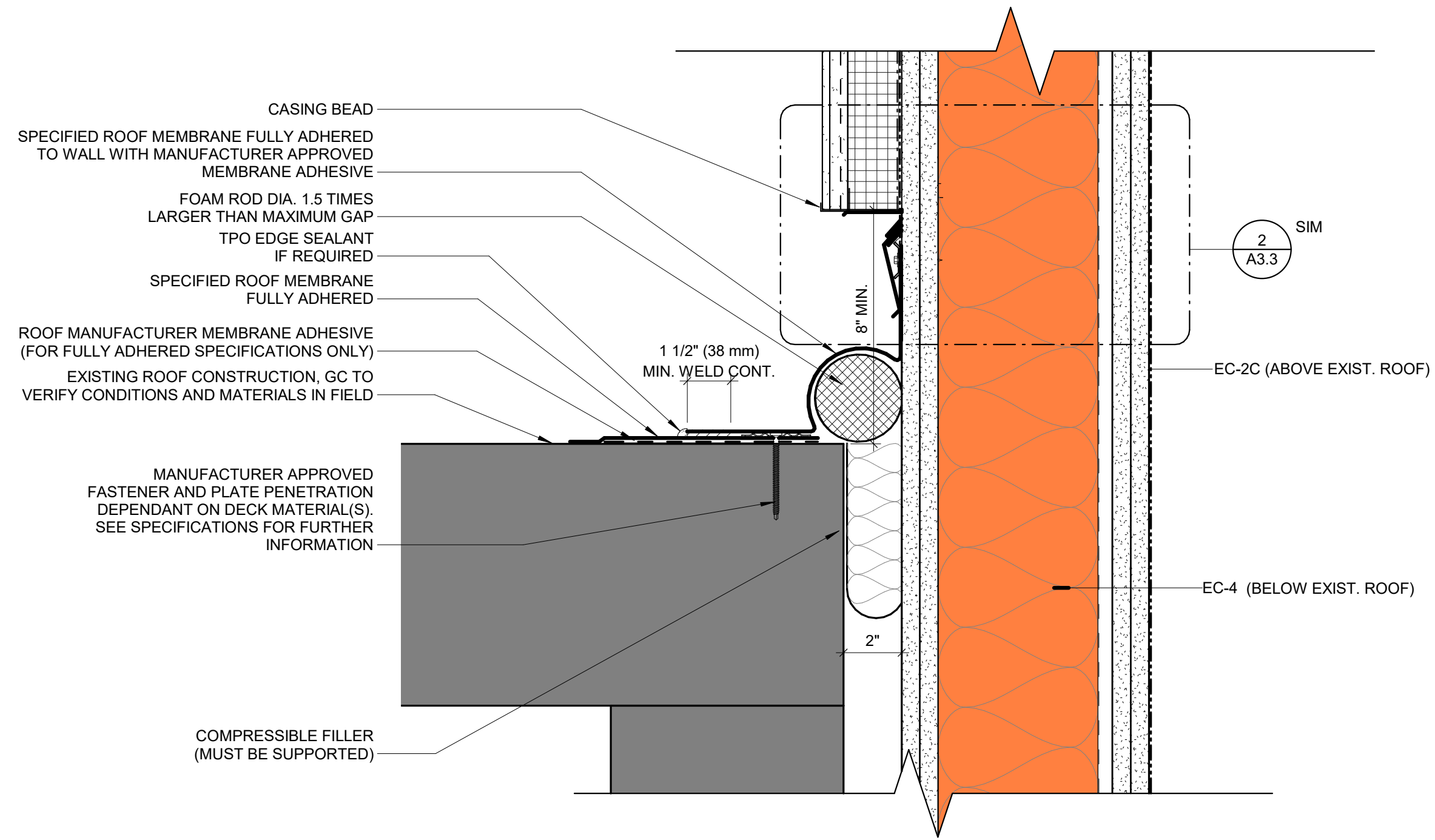
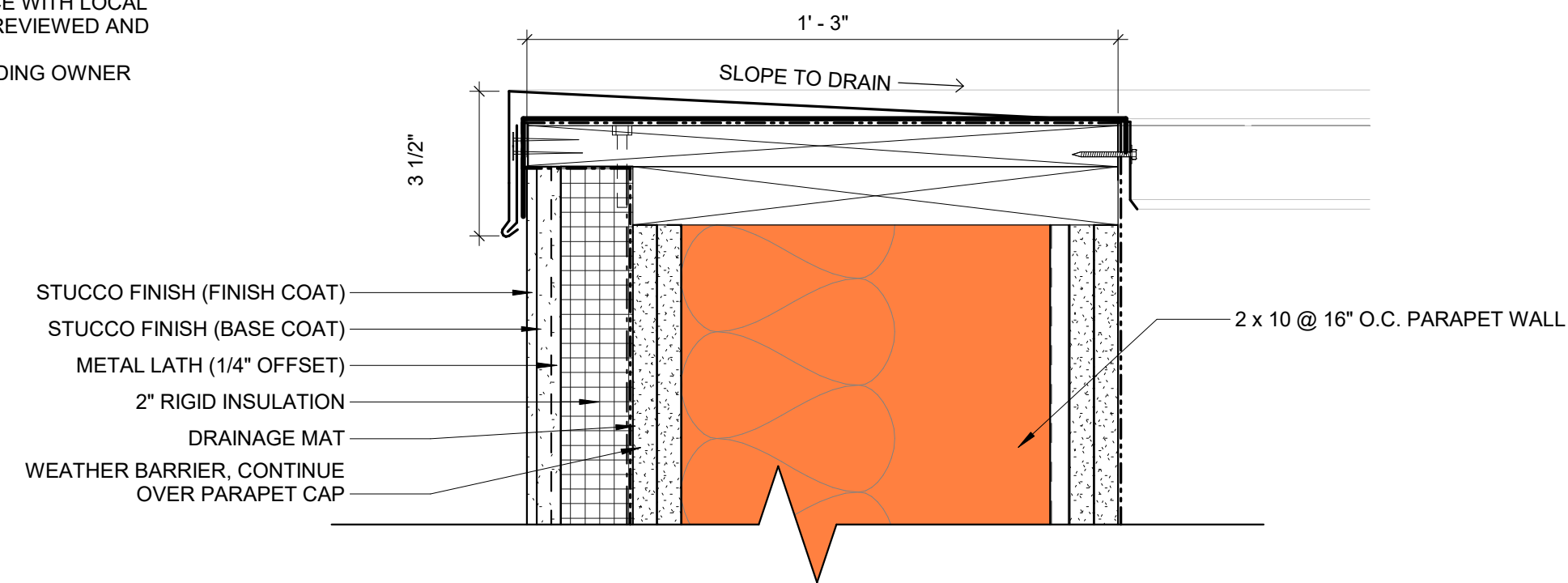
**1 ROOF DETAIL - SLOPED PILOT HOUSE**  
3/4" = 1'-0"



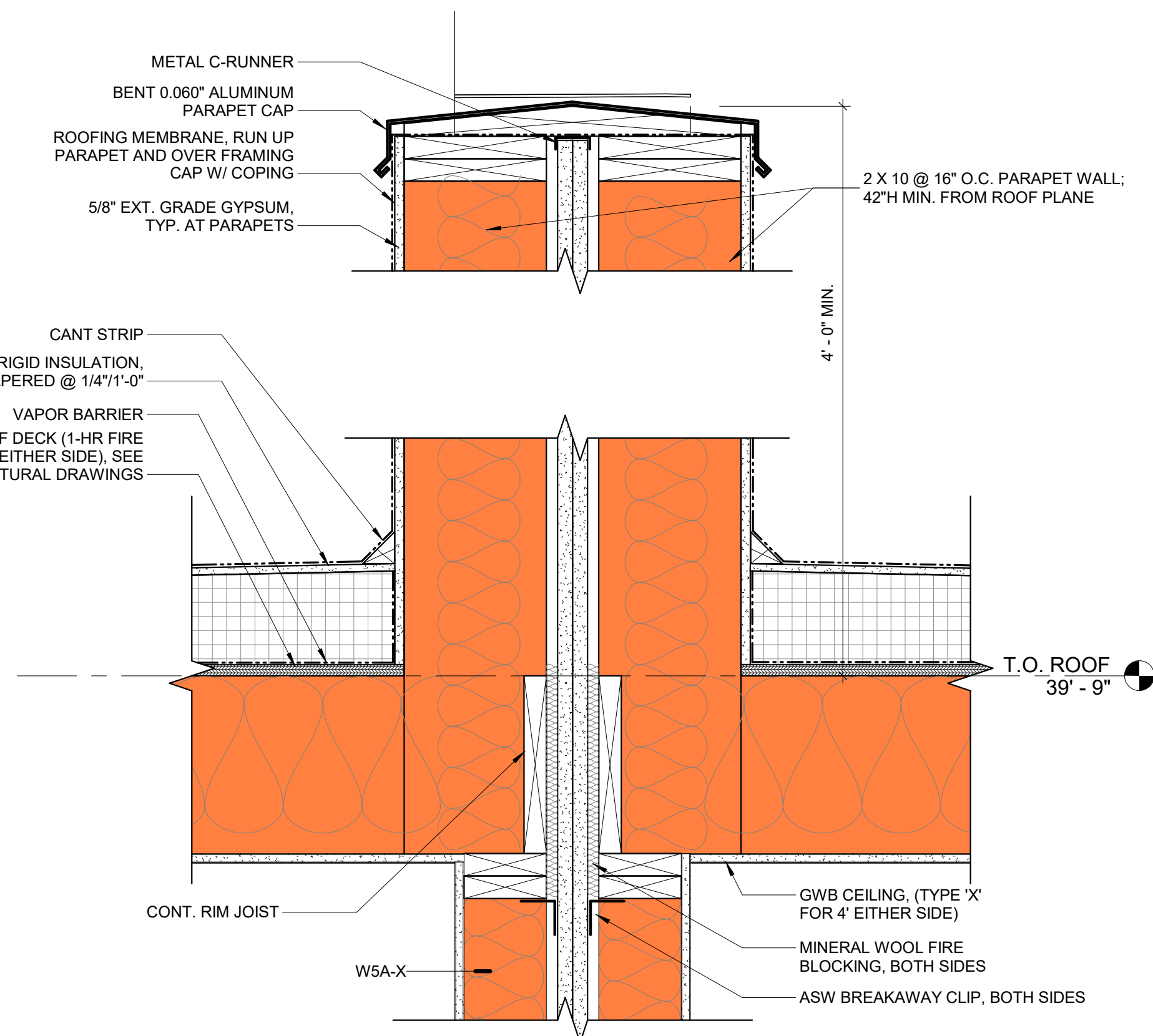
**3 ROOF DETAIL - BASE FLASHING**  
1 1/2" = 1'-0"



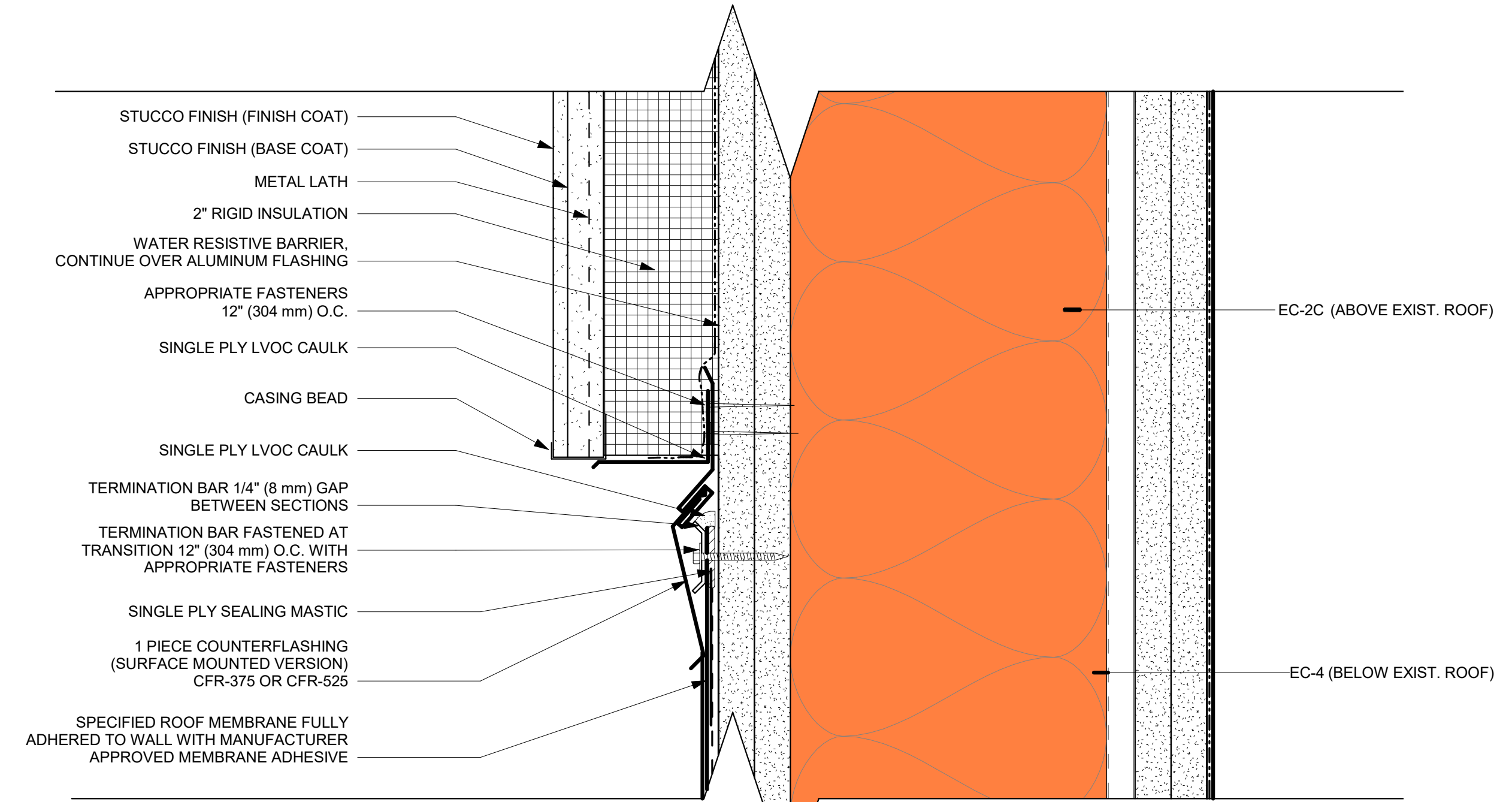
- GENERAL NOTES:**
- REFER TO MANUFACTURER'S WEBSITE FOR MOST UP-TO-DATE INFORMATION.
  - PLEASE SEE FLASHING SPECIFICATIONS FOR A FULL DESCRIPTION OF INSTALLATION INSTRUCTIONS AND REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.
  - ANY CARPENTRY OR METAL WORK SHOULD BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS AND/OR PROJECT SPECIFICATIONS. THESE COMPONENTS SHOULD BE REVIEWED AND APPROVED BY A LICENSED DESIGN PROFESSIONAL.
  - ALL SEALANTS / CAULKING SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE BUILDING OWNER THROUGHOUT THE LIFE OF THE ROOF.



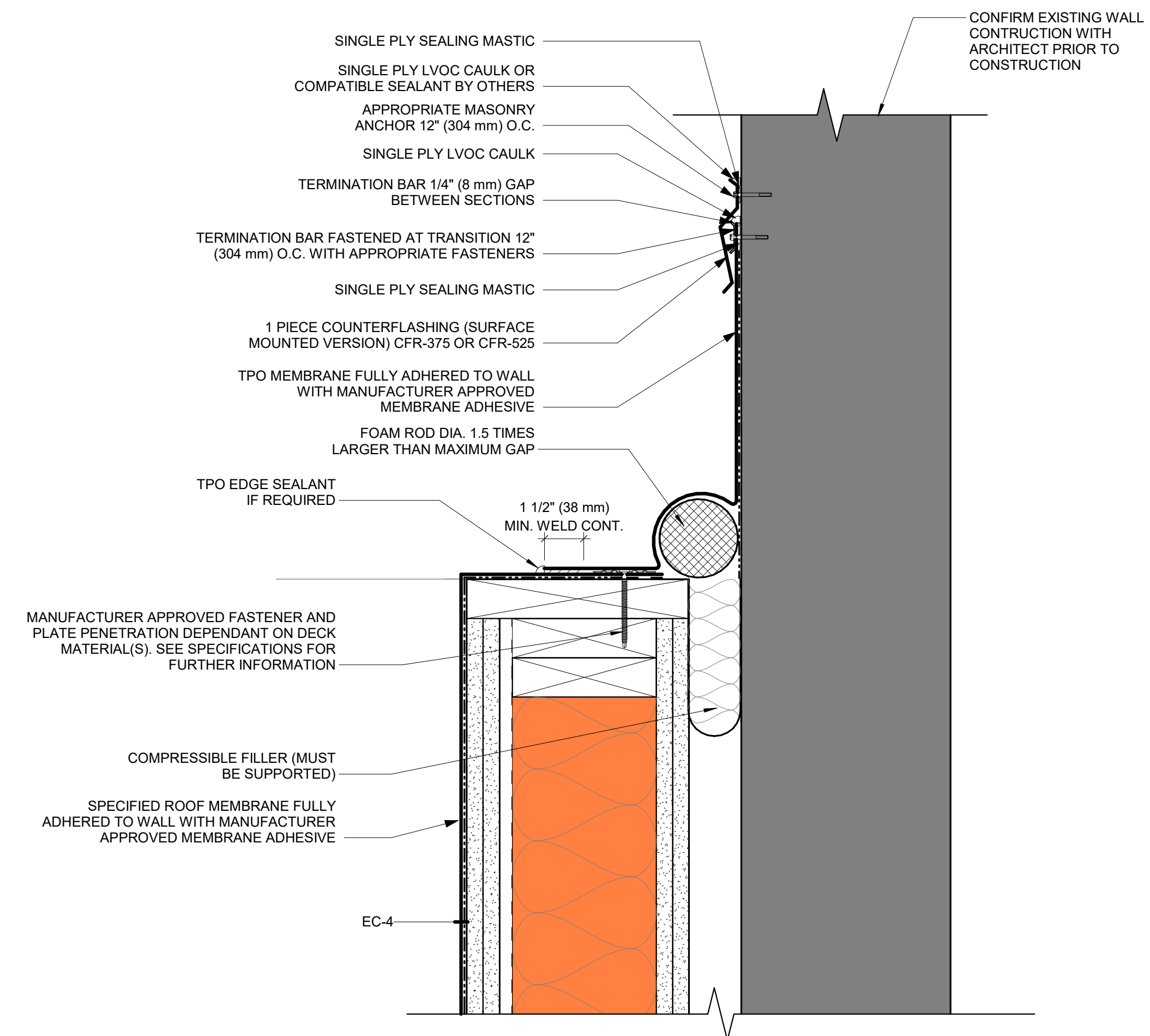
**1** ROOF DETAIL - FIREWALL @ EXISTING LOW ROOF  
3" = 1'-0"



**3** ROOF DETAIL - 2 HOUR AREA SEPARATION  
1 1/2" = 1'-0"



**2** ROOF DETAIL - TPO TERMINATION BELOW WALL CLADDING  
6" = 1'-0"

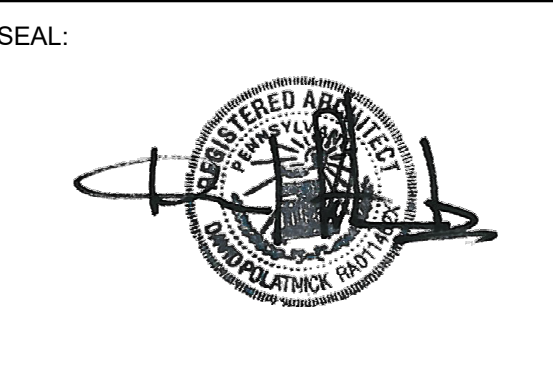


**4** ROOF DETAIL - FIREWALL @ EXISTING HIGH ROOF  
3" = 1'-0"

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**REVISIONS**

NO.	DATE	ISSUE

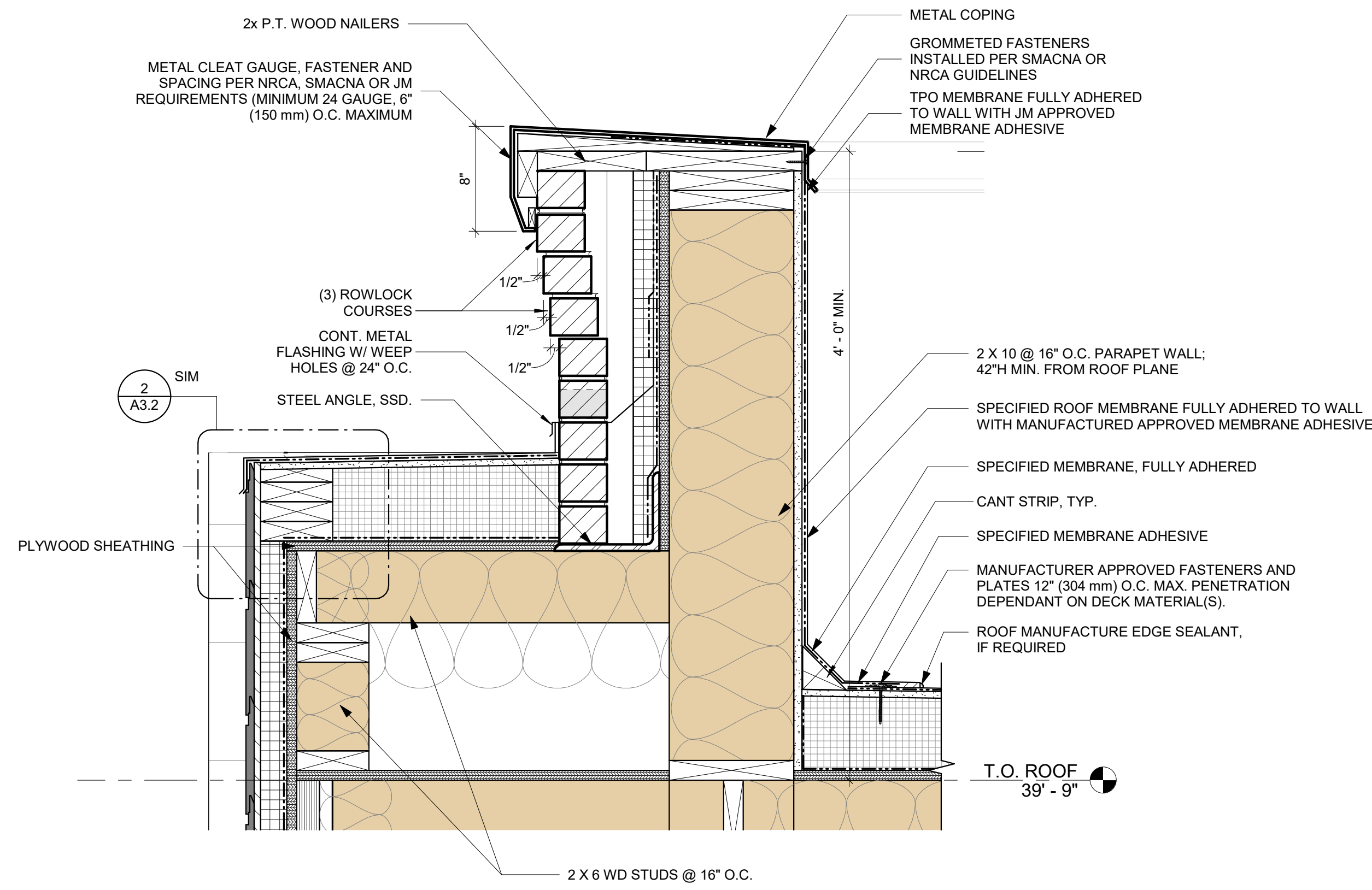
**DRAWING TITLE**  
**ROOF DETAILS**

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

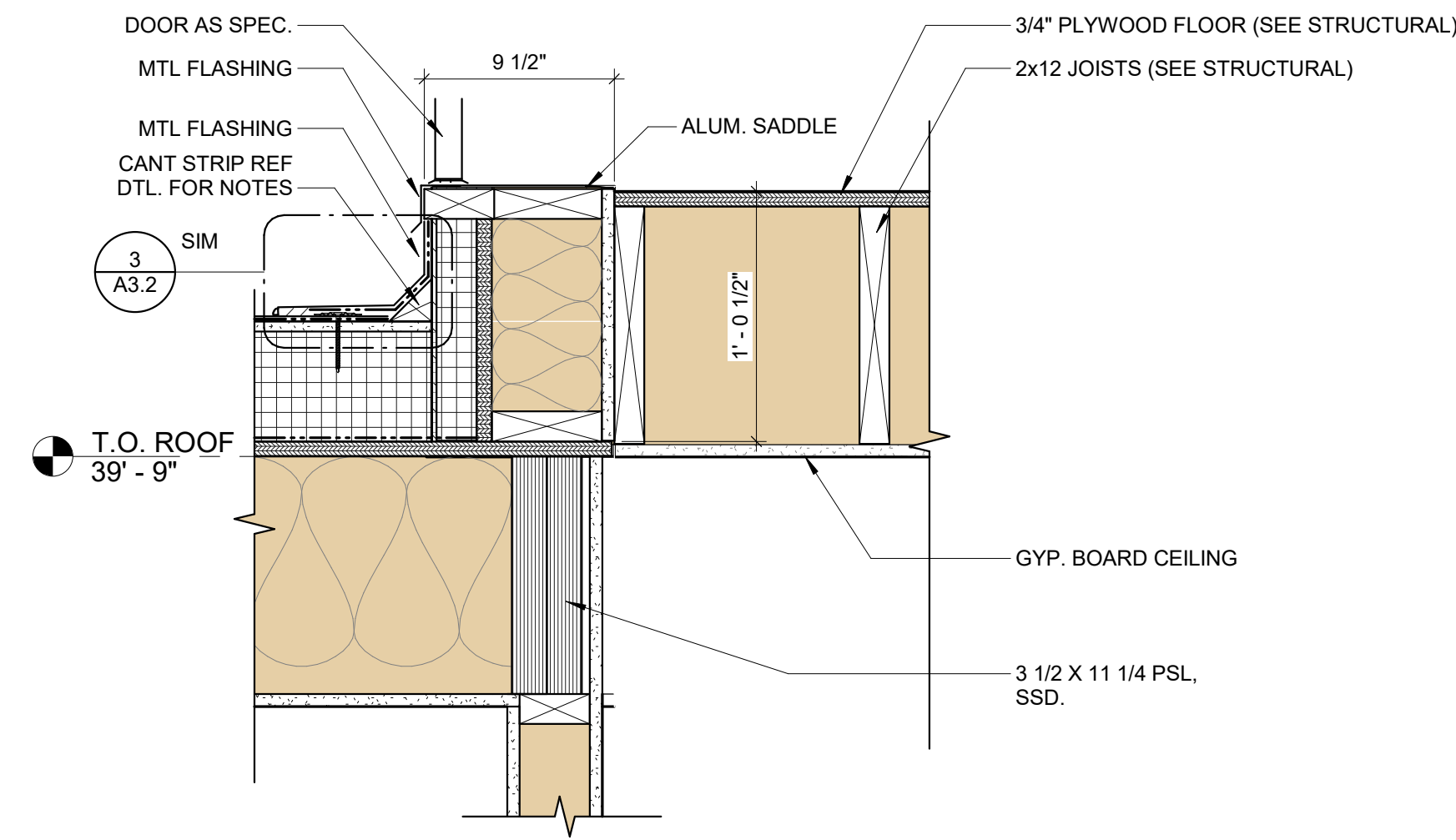
SHEET NO.  
**A3.3**

FOR CONSTRUCTION 09/11/20

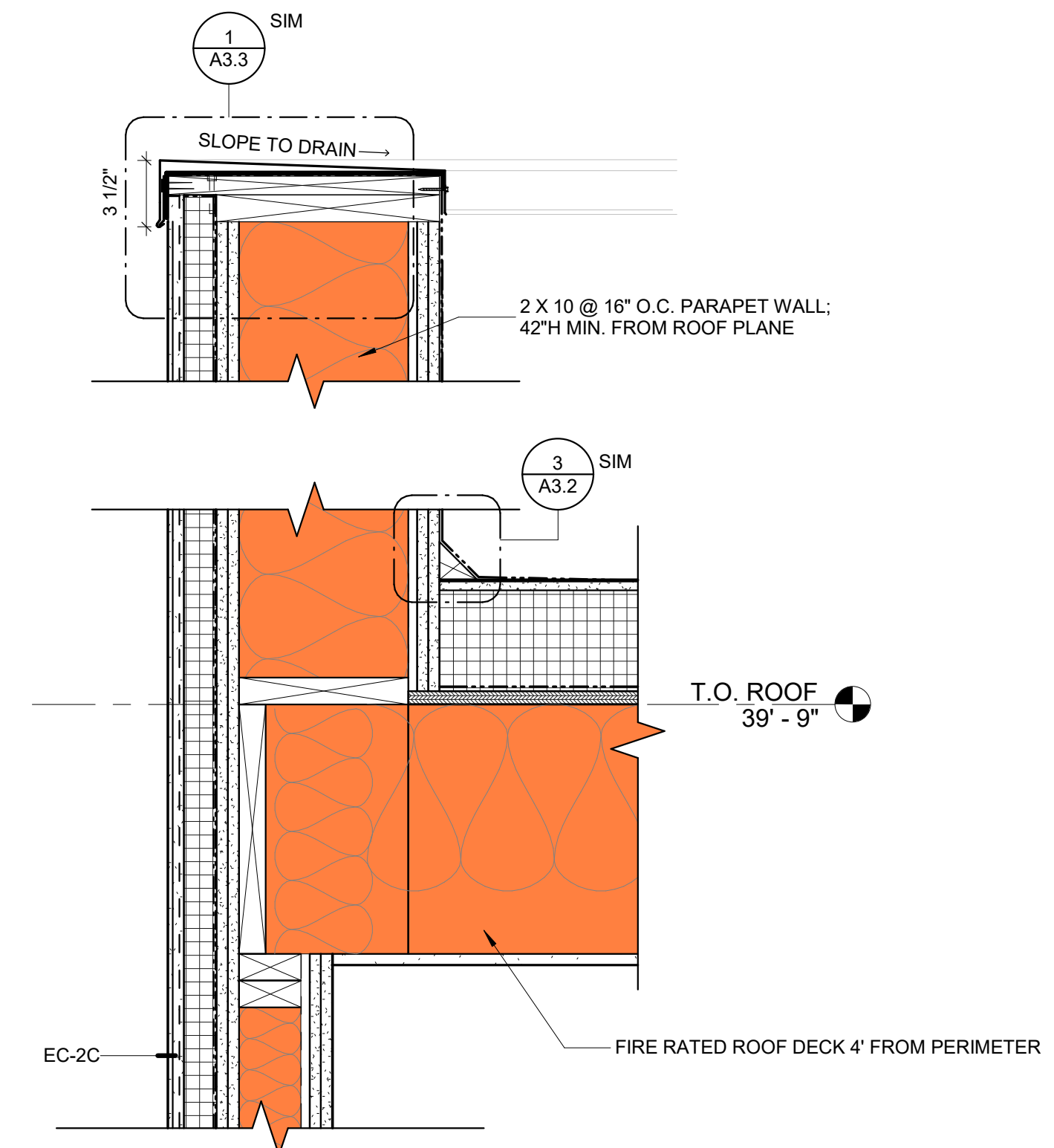
- GENERAL NOTES:**
1. REFER TO MANUFACTURER'S WEBSITE FOR MOST UP-TO-DATE INFORMATION.
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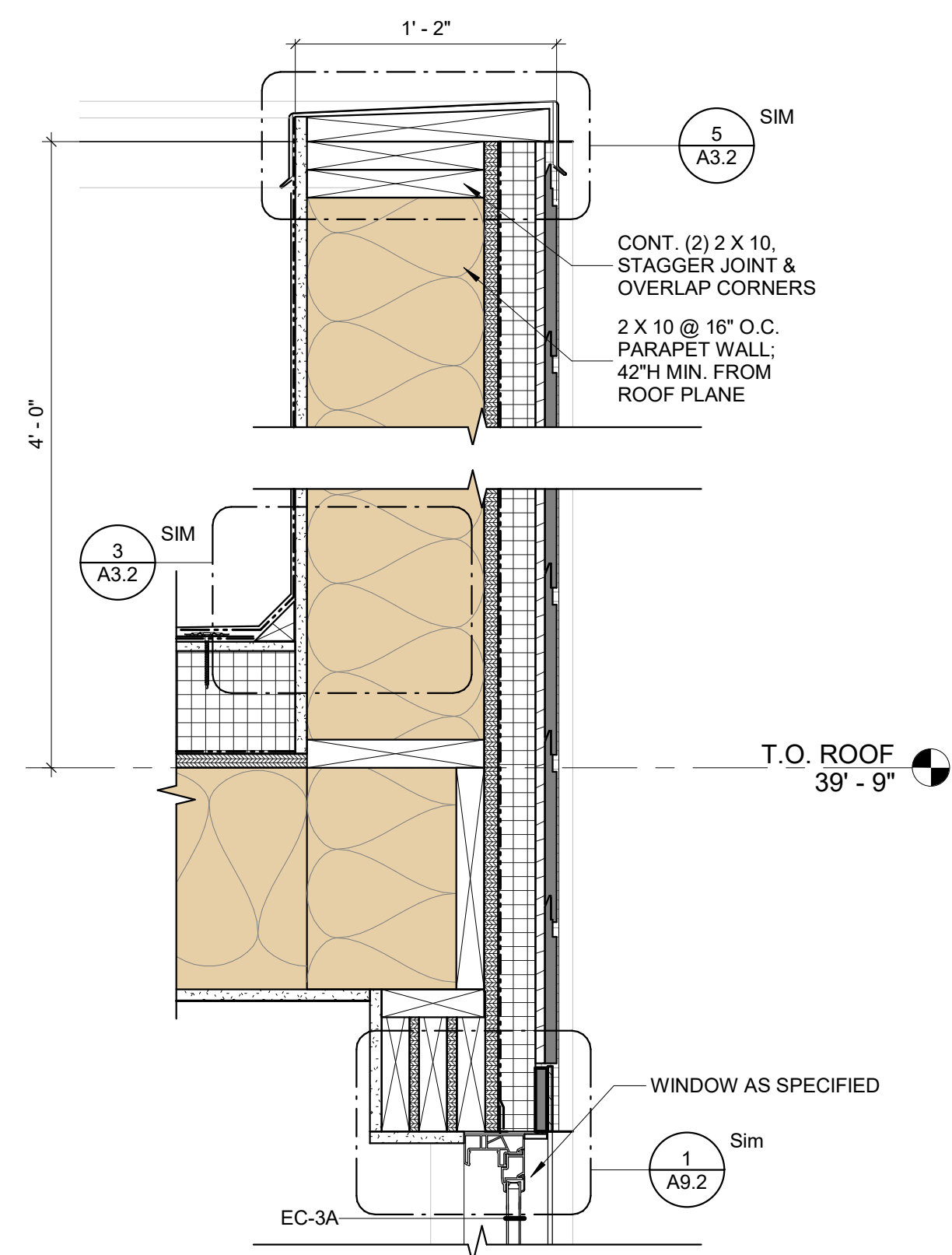
**1 ROOF DETAIL - BUMPOUT**  
1 1/2" = 1'-0"



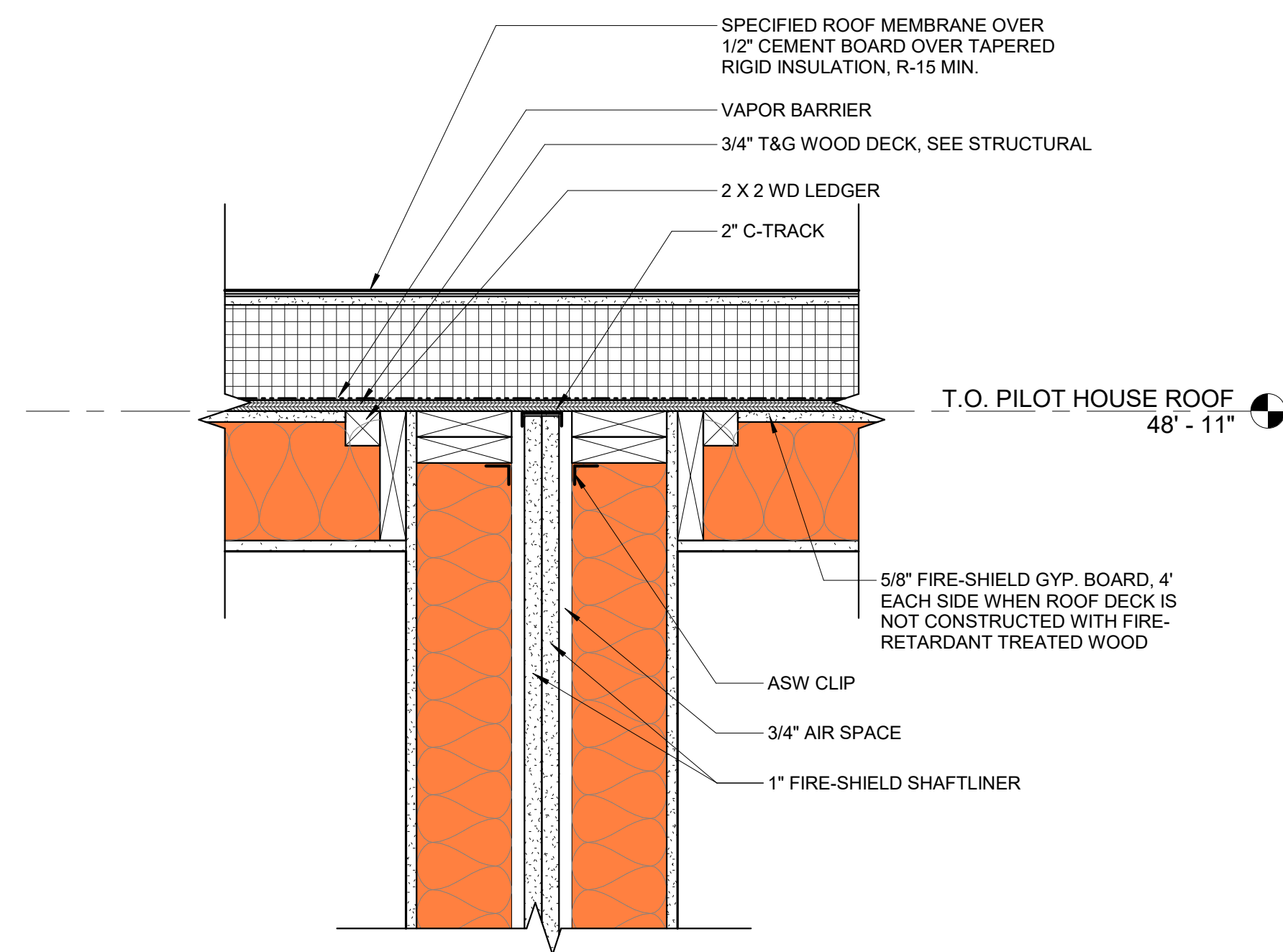
**2 ROOF DETAIL - PILOT HOUSE DOOR**  
1 1/2" = 1'-0"



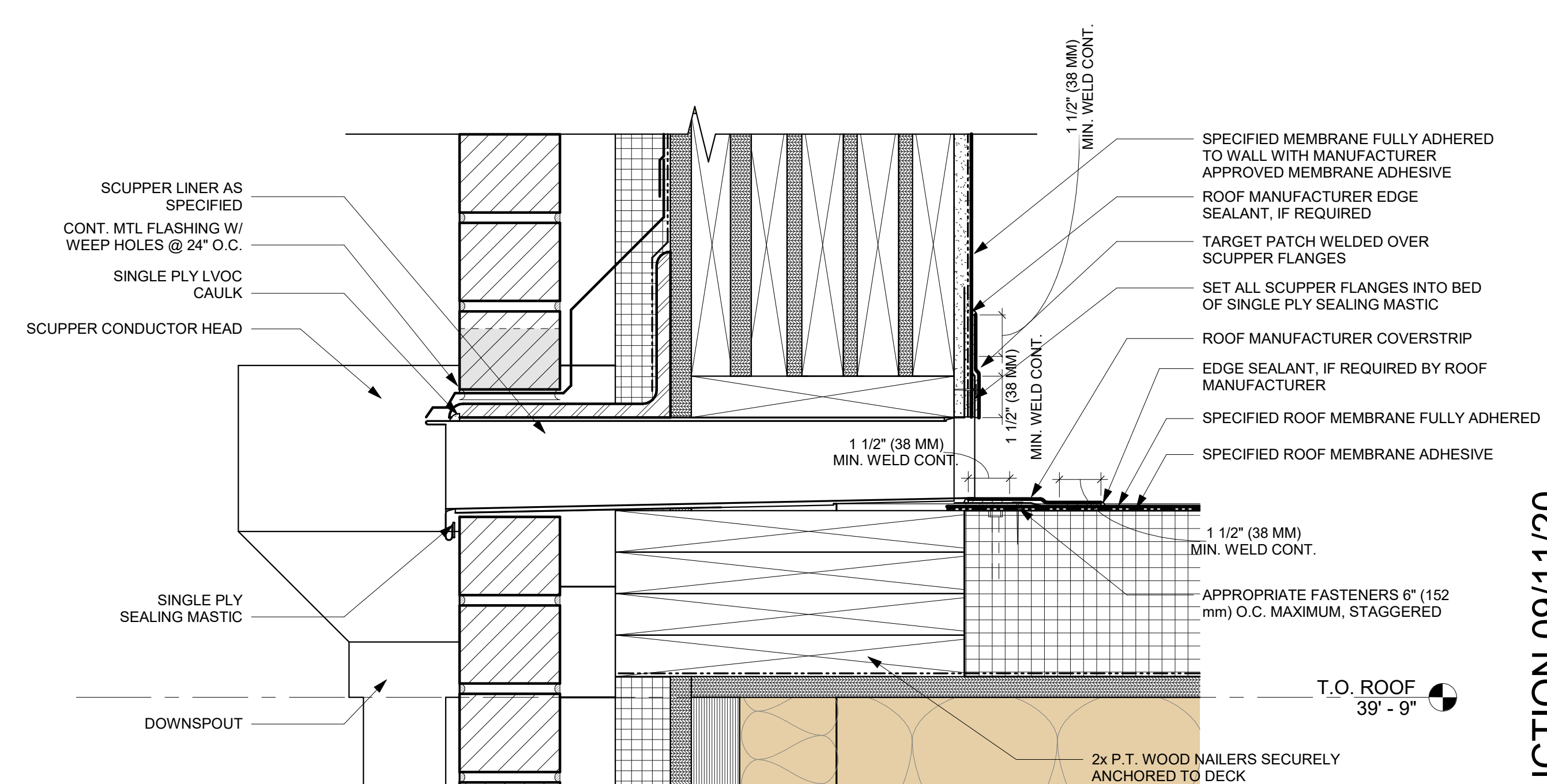
**3 ROOF DETAIL - PARAPET @ STUCCO**  
1 1/2" = 1'-0"



**4 ROOF DETAIL - PARAPET @ FIBER CEMENT**  
1 1/2" = 1'-0"



**5 ROOF DETAIL - FIREWALL @ ROOF**  
1 1/2" = 1'-0"



**6 ROOF DETAIL - SCUPPER @ BRICK**  
3" = 1'-0"

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**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**

**ROOF DETAILS**

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

**A3.4**

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20

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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE

REFLECTED  
CEILING PLANS  
- TYP UNIT

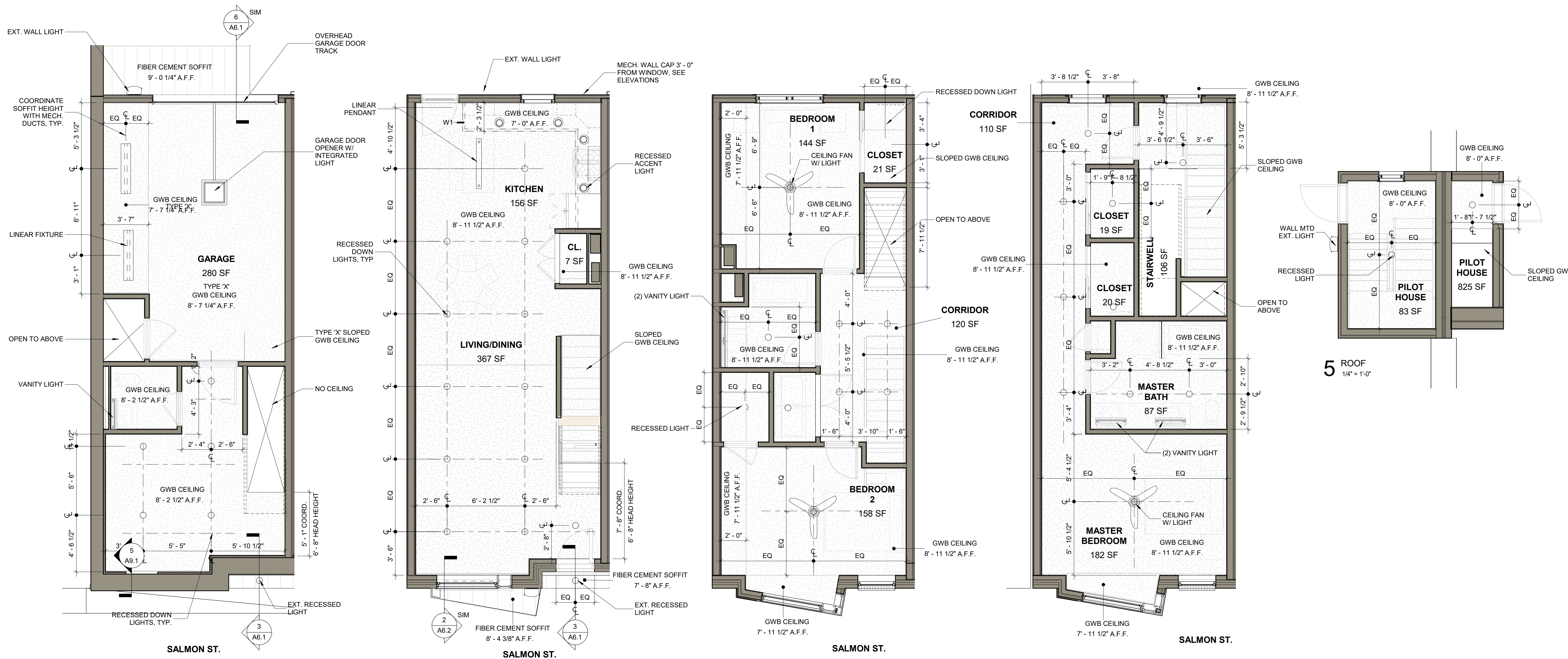
SCALE: 1/4" = 1'-0" DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

A4.0

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20



1 REFLECTED CEILING PLAN - BASEMENT  
1/4" = 1'-0"

2 REFLECTED CEILING PLAN - FIRST FLOOR  
1/4" = 1'-0"

3 REFLECTED CEILING PLAN - SECOND FLOOR  
1/4" = 1'-0"

4 REFLECTED CEILING PLAN - THIRD FLOOR  
1/4" = 1'-0"

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SEAL:



REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

REFLECTED CEILING PLAN - CARRIAGE UNIT

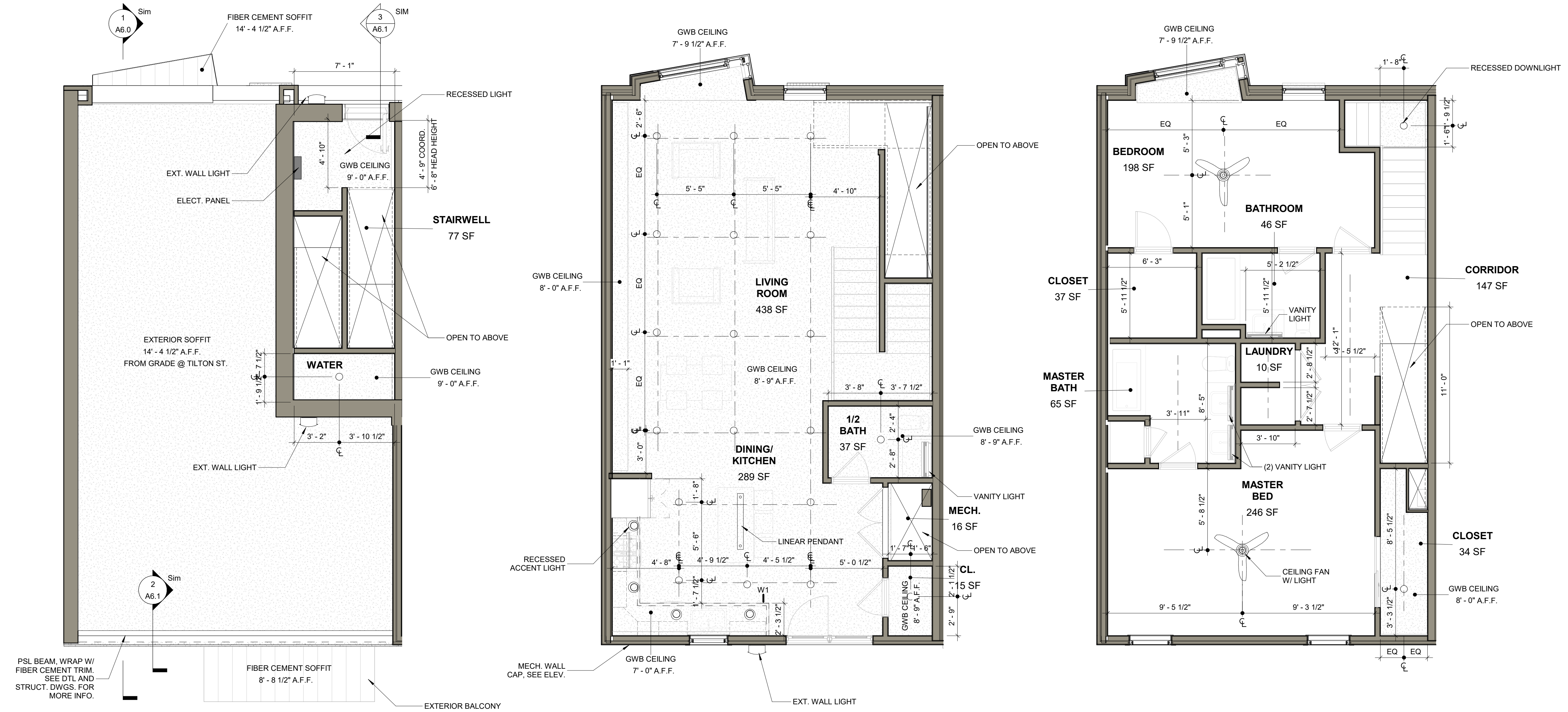
SCALE: 1/4" = 1'-0" DRAWN BY: CR

DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

A4.1

PROJECT NO. 1915



1 REFLECTED CEILING PLAN - FIRST FLOOR - CARRIAGE HOUSE  
1/4" = 1'-0"

2 REFLECTED CEILING PLAN - SECOND FLOOR - CARRIAGE HOUSE  
1/4" = 1'-0"

3 REFLECTED CEILING PLAN - THIRD FLOOR - CARRIAGE HOUSE  
1/4" = 1'-0"

FOR CONSTRUCTION 09/11/20

EXTERIOR WALL LEGEND	
REFERENCE PARTITION TYPES - EXT. ON A/9.0	
EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD



**ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

PROJECT NAME  
SALMON STREET TOWNHOUSES  
2656-70 SALMON ST.  
PHILADELPHIA, PA 19125

PROJECT TEAM  
OWNER  
KIDDNA, LLC  
1516 N 5TH ST., STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

STRUCTURAL  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

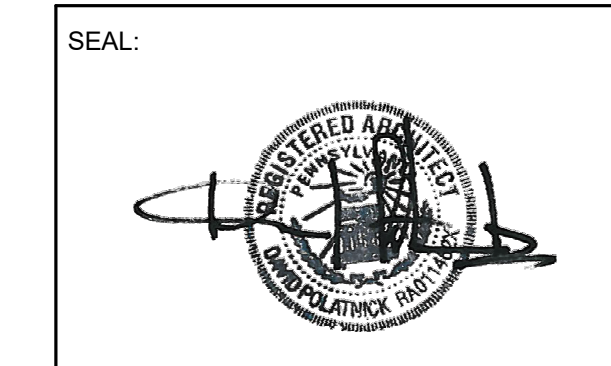
SYSTEMS  
BHG CONSULTING, INC  
1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

CIVIL ENGINEER  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

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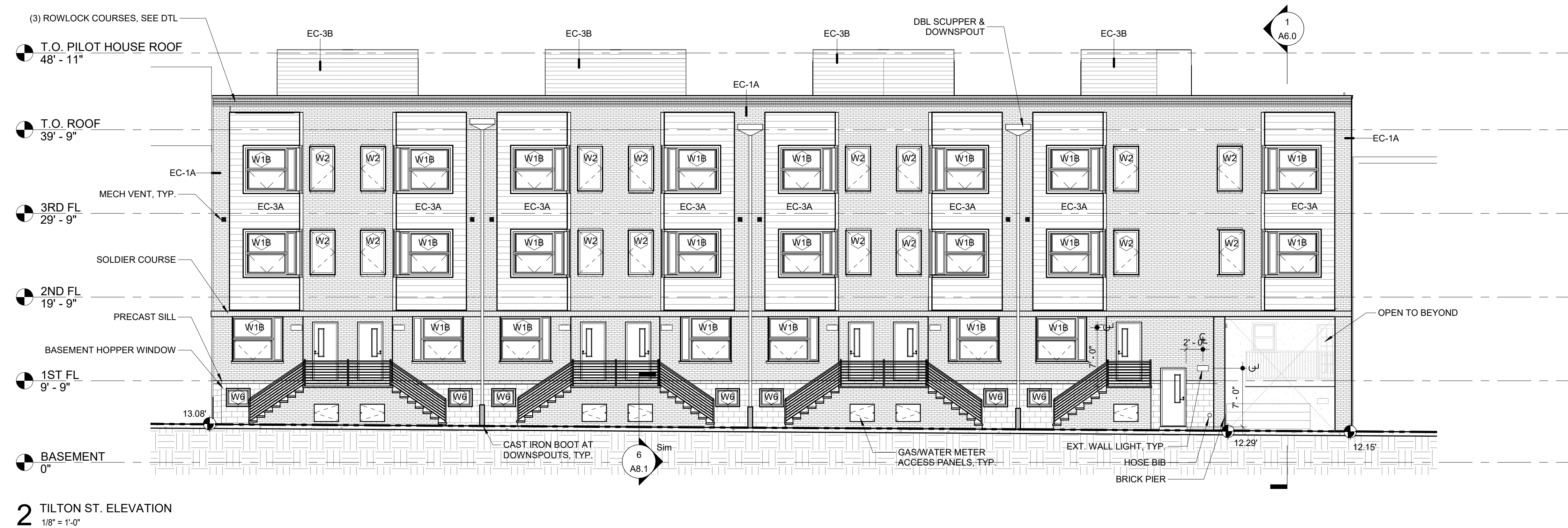
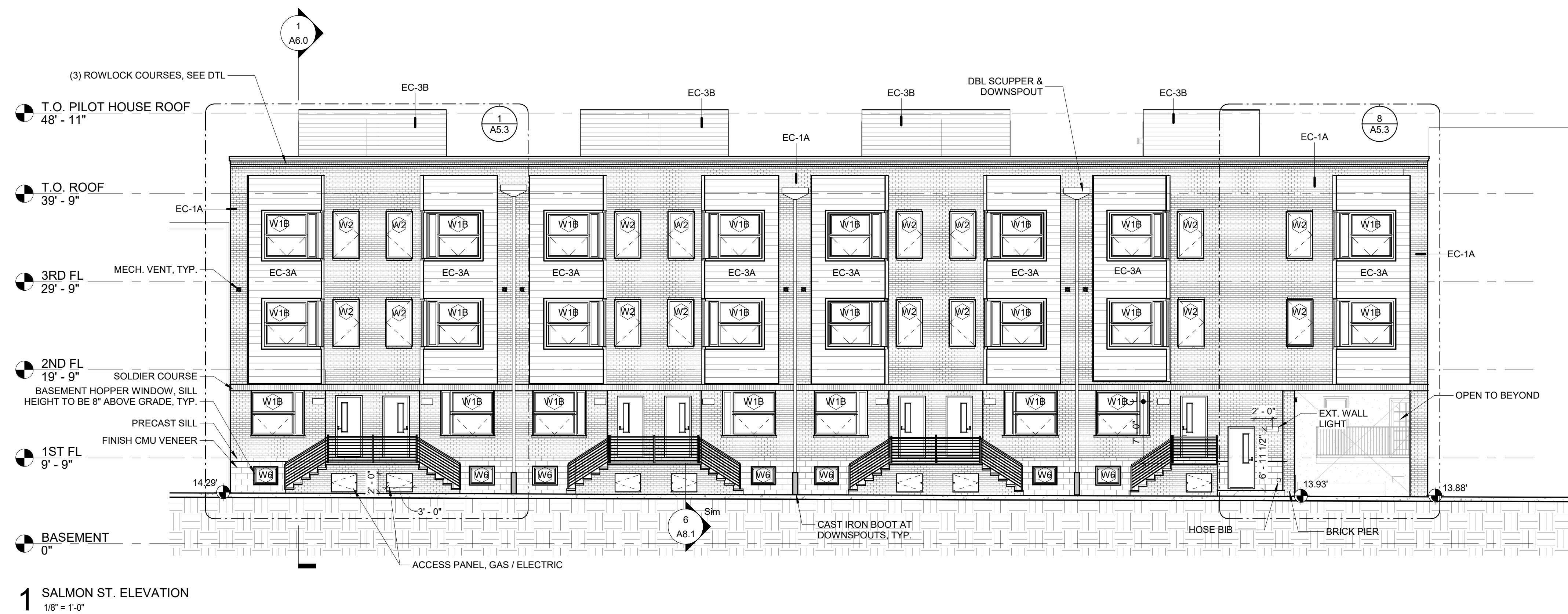


REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE	
<b>EXTERIOR ELEVATIONS</b>	
SCALE: As indicated	DRAWN BY: CR
DATE: 09/11/20	CHECKED BY: DP
SHEET NO.	

A5.0

PROJECT NO. 1915



FOR CONSTRUCTION 09/11/20



EXTERIOR WALL LEGEND	
REFERENCE PARTITION TYPES - EXT. ON A/9.0	
EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD

**P Z S**  
**ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

PROJECT NAME  
SALMON STREET TOWNHOUSES  
2656-70 SALMON ST  
PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER  
KIDDNA, LLC  
1516 N 5TH ST. STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

STRUCTURAL  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

SYSTEMS  
BHG CONSULTING, INC  
1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

CIVIL ENGINEER  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

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REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE

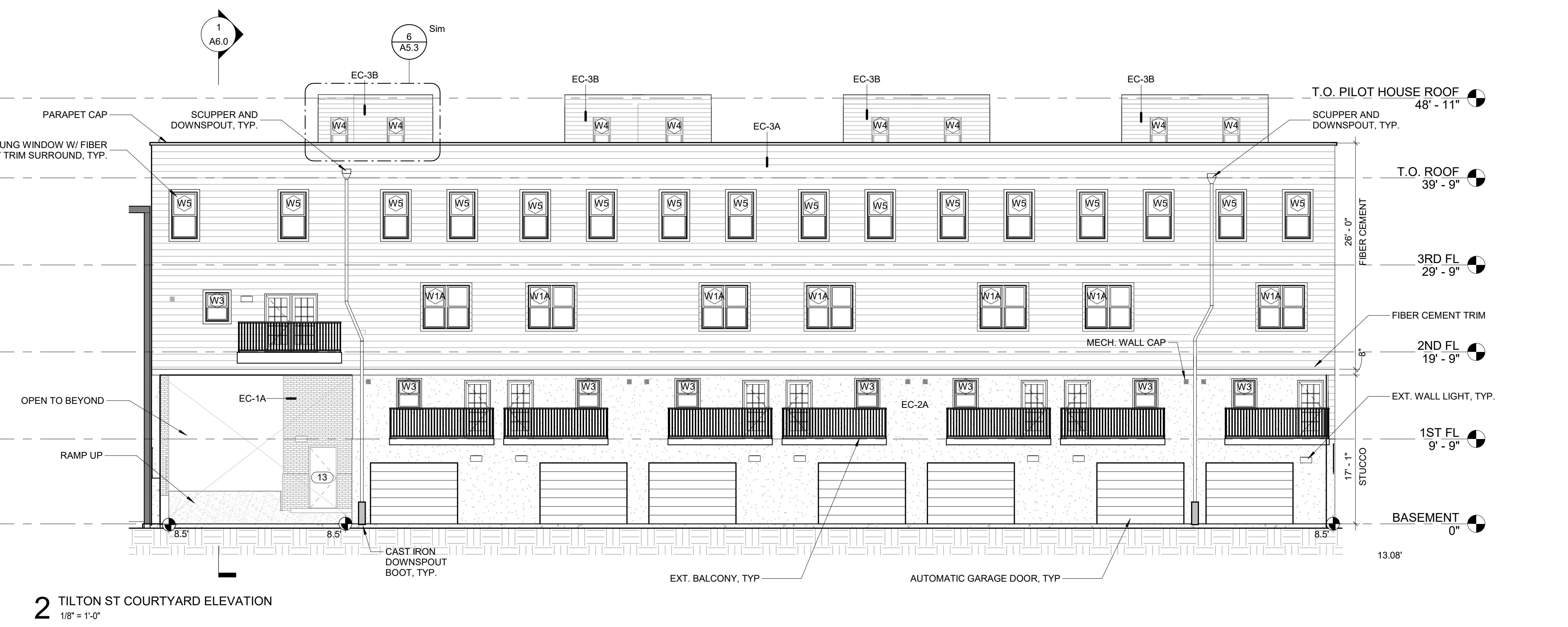
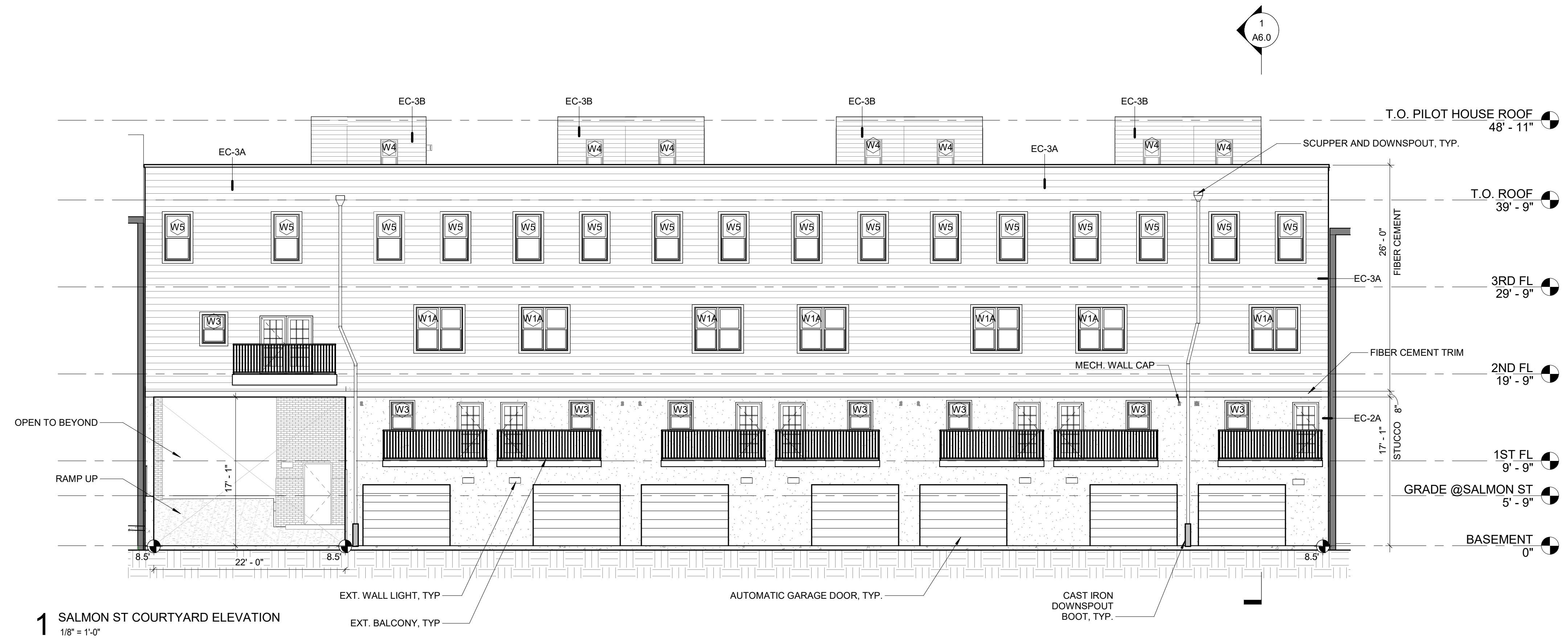
## EXTERIOR ELEVATIONS

SCALE: As indicated      DRAWN BY: CR  
DATE: 09/11/20      CHECKED BY: DP

SHEET NO.

# A5.1

PROJECT NO.      1915



FOR CONSTRUCTION 09/11/20

EXTERIOR WALL LEGEND	
REFERENCE PARTITION TYPES - EXT. ON A/9.0	
EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD

**P Z S**  
**ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
215-483-1915 FAX 215-930-0484

**PROJECT NAME**  
SALMON STREET TOWNHOUSES  
2656-70 SALMON ST  
PHILADELPHIA, PA 19125

**PROJECT TEAM**

**OWNER**  
KIDDNA, LLC  
1516 N 5TH ST, STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

**STRUCTURAL**  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
CHADDS FORD, PA 19317  
610-558-0050

**SYSTEMS**  
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1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

**CIVIL ENGINEER**  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

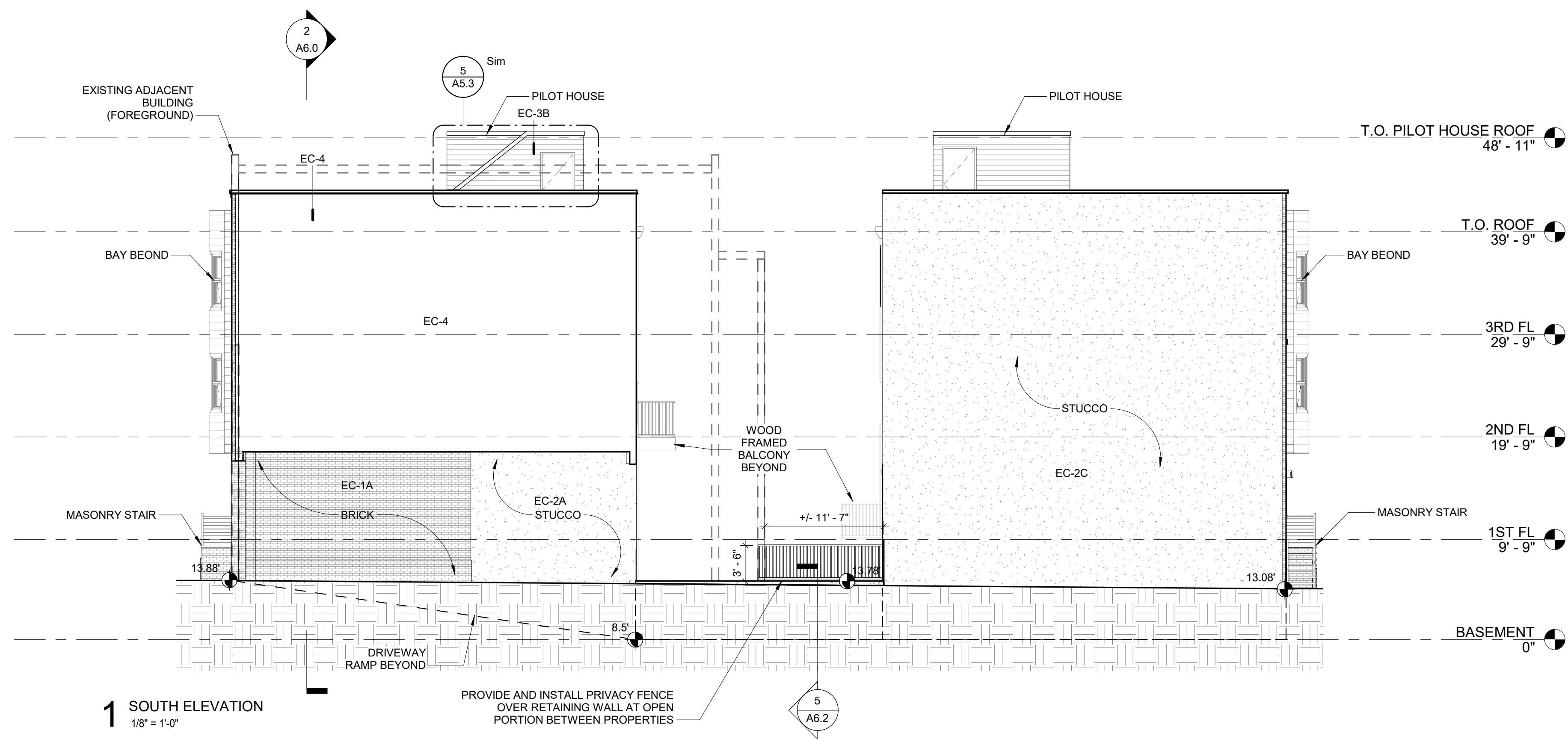
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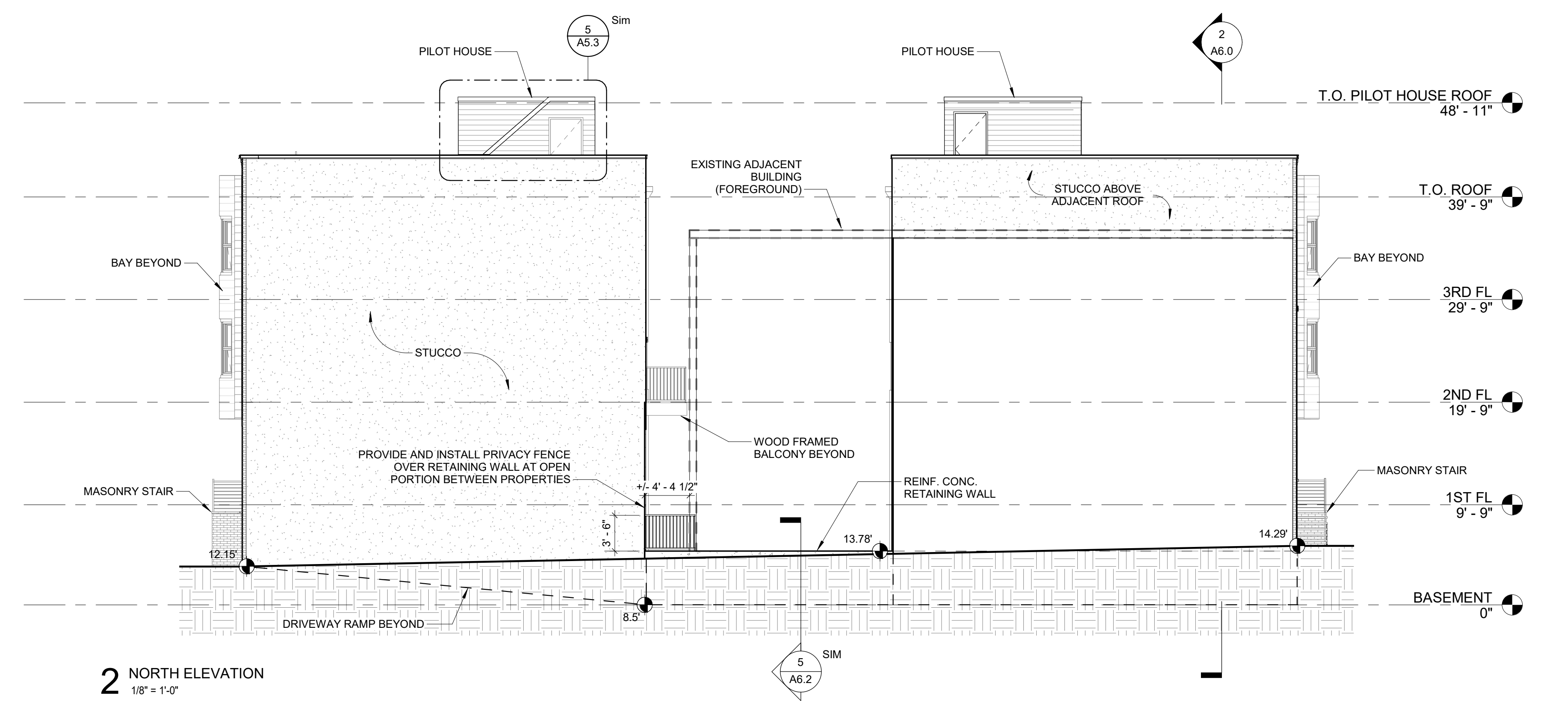
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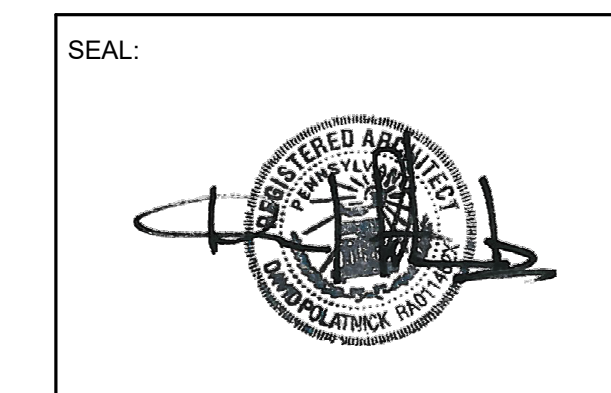
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**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 NORTH ELEVATION**  
1/8" = 1'-0"



**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE**  
**EXTERIOR ELEVATIONS**

SCALE: As indicated    DRAWN BY: CR  
DATE: 09/11/20    CHECKED BY: DP

SHEET NO.  
**A5.2**

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20

EXTERIOR WALL LEGEND	
REFERENCE PARTITION TYPES - EXT. ON A/9.0	
EC-1A	BRICK ON WD STUD
EC-1B	BRICK ON REINFORCED CONC.
EC-2A	STUCCO ON WD STUD
EC-2B	STUCCO ON REINFORCED CONC.
EC-2C	STUCCO ON 2-HR RATED WD STUD
EC-3A	FIBER CEMENT SQUARE CHANNEL ON WD STUD
EC-3B	FIBER CEMENT LAP SIDING ON WD STUD
EC-4	2-HR RATED WD STUD

**P Z S**  
**ARCHITECTS**

4593 MITCHELL ST., PHILADELPHIA, PA 19128  
 215-483-1915 FAX 215-930-0484

PROJECT NAME  
 SALMON STREET TOWNHOUSES  
 2656-70 SALMON ST.  
 PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER  
 KIDDNA, LLC  
 1516 N 5TH ST., STE 212  
 PHILADELPHIA, PA 19122  
 267-516-2234

STRUCTURAL  
 JOSEPH BARBATO ASSOCIATES  
 6 DICKINSON DRIVE, #103  
 CHADDS FORD, PA 19317  
 610-558-0050

SYSTEMS  
 BHG CONSULTING, INC  
 1812 SOUTH 22ND ST  
 PHILADELPHIA, PA 19145  
 215-755-9318

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 MASER CONSULTING, PA  
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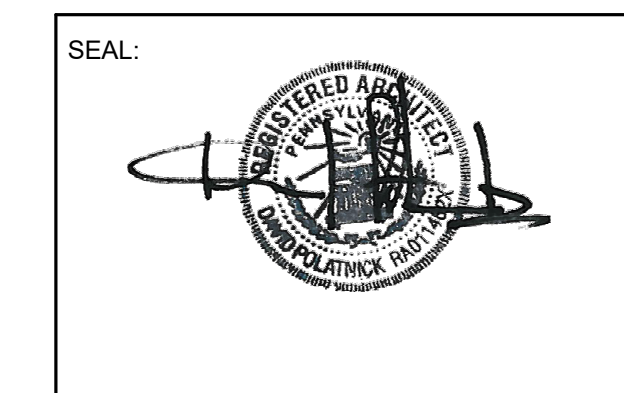
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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

**EXTERIOR ELEVATIONS**

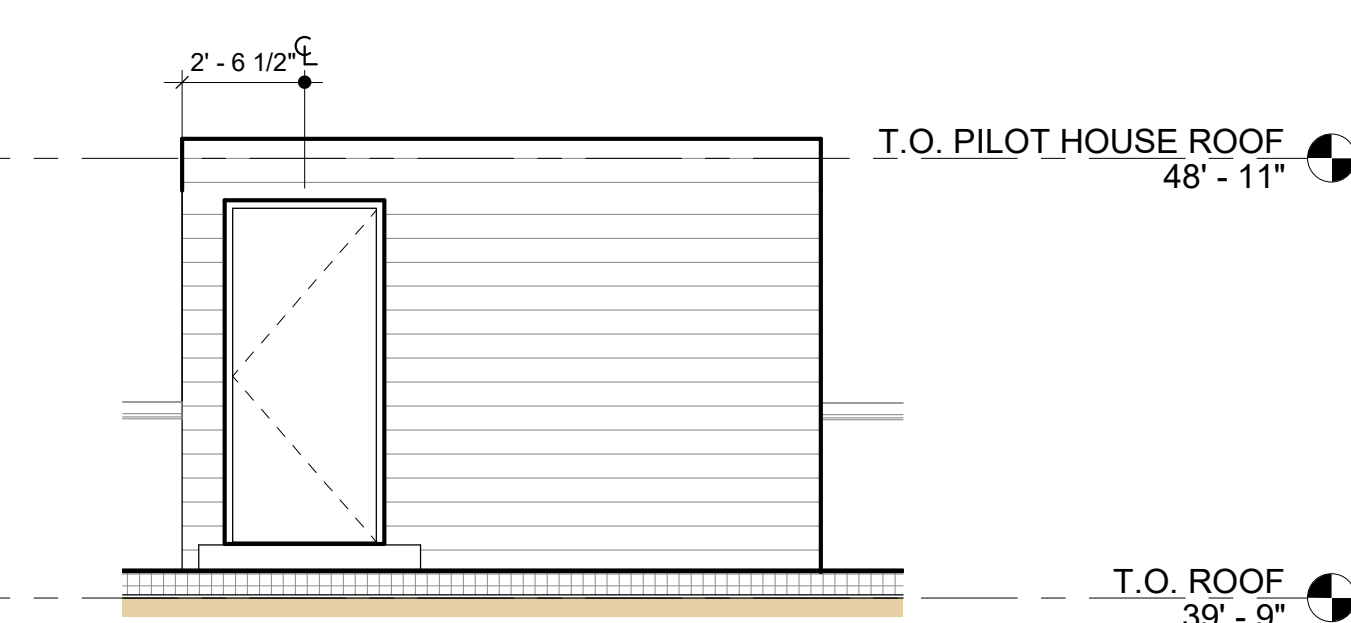
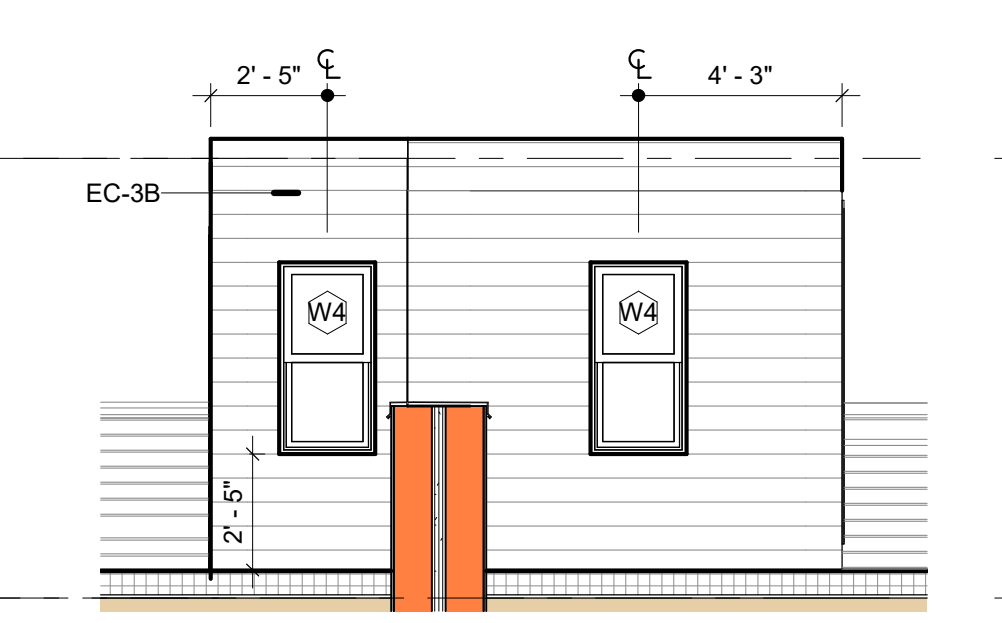
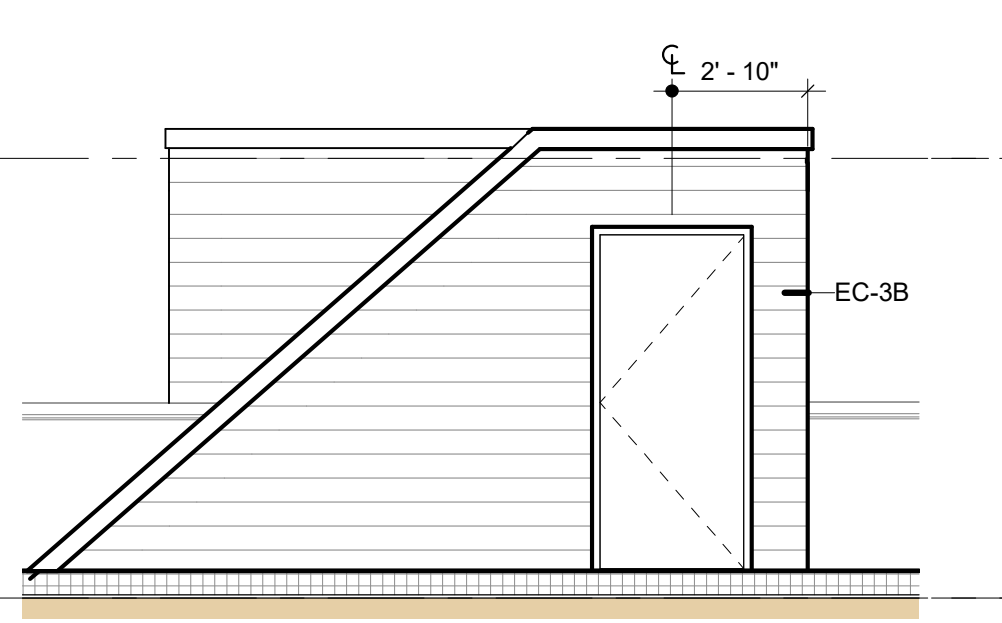
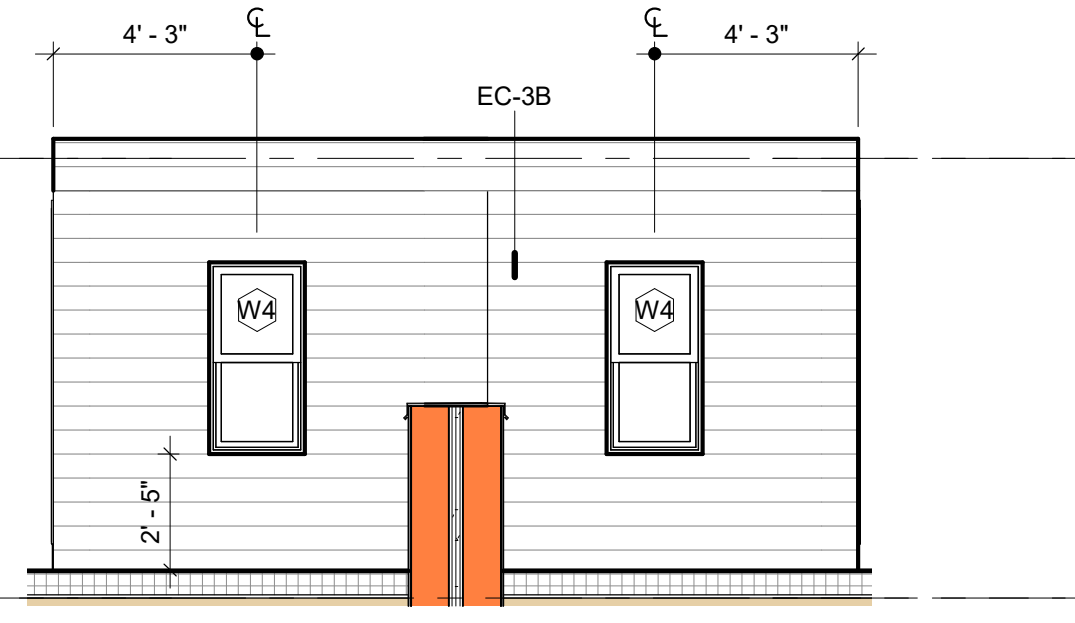
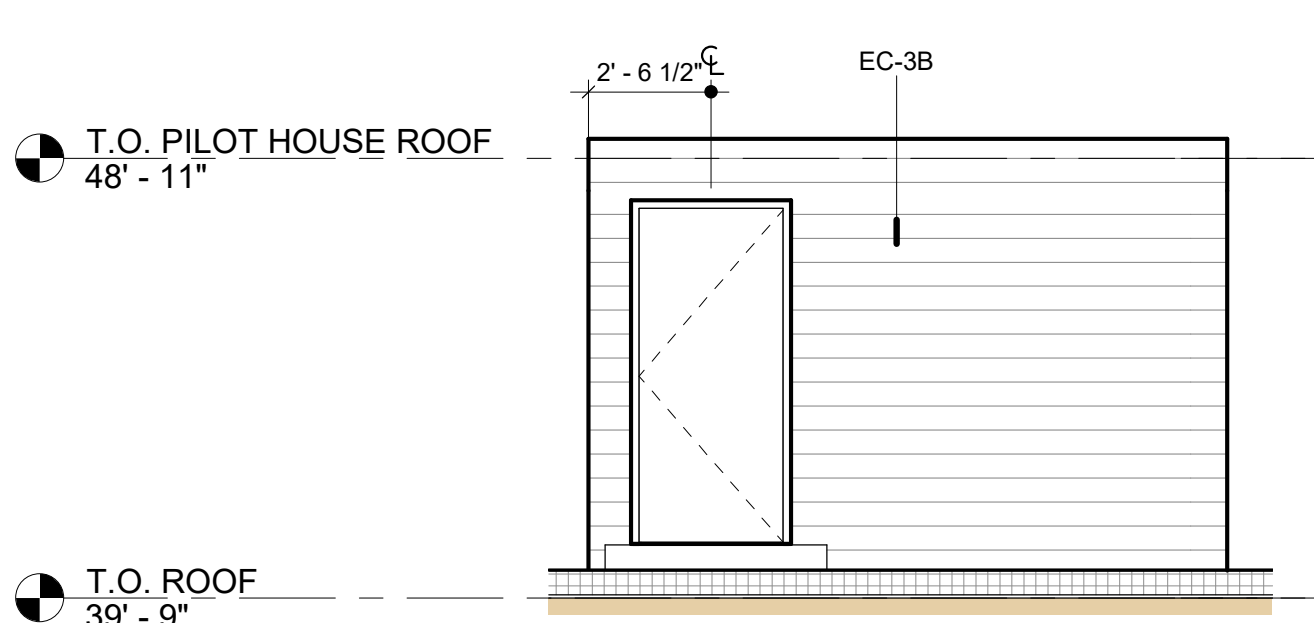
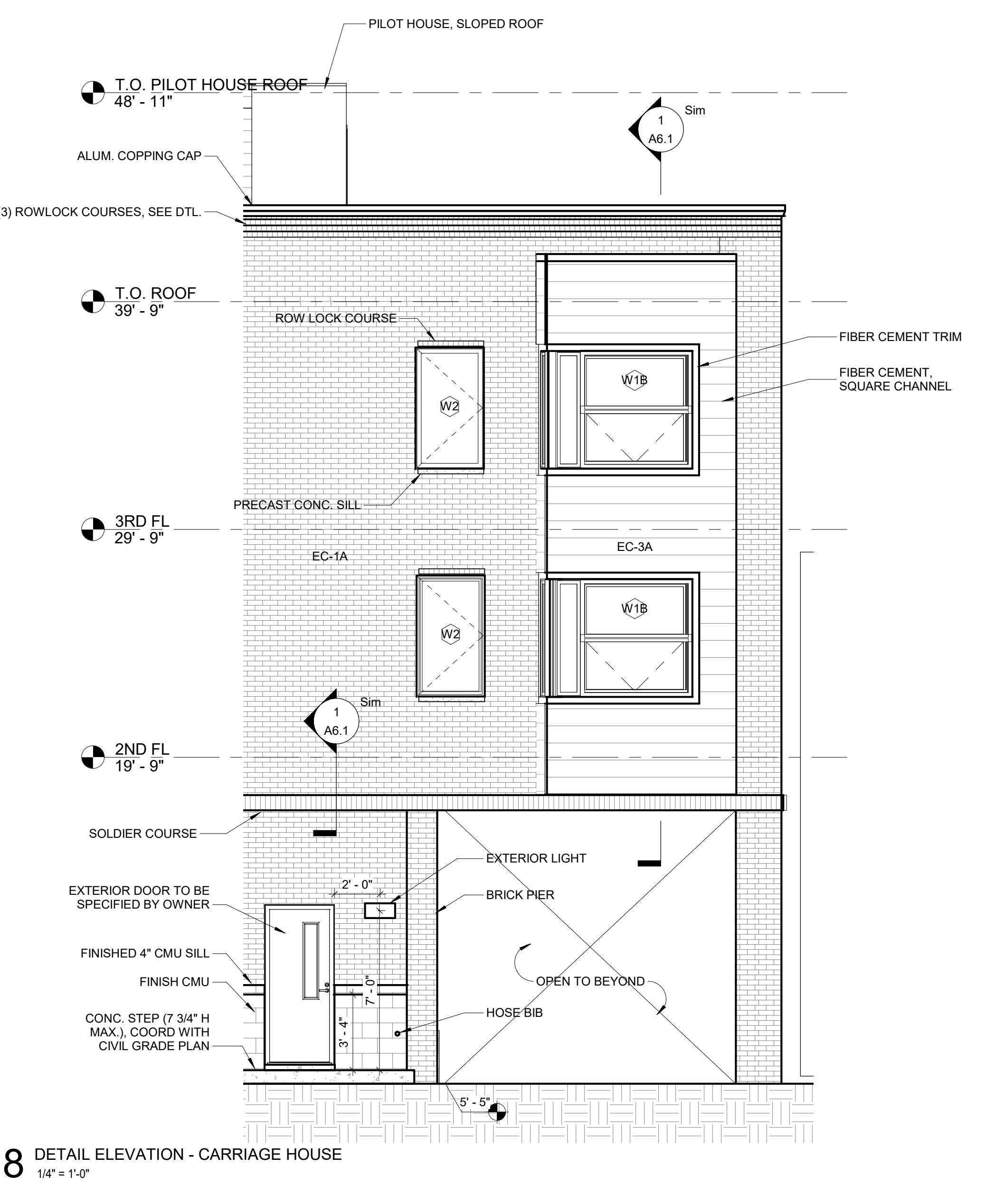
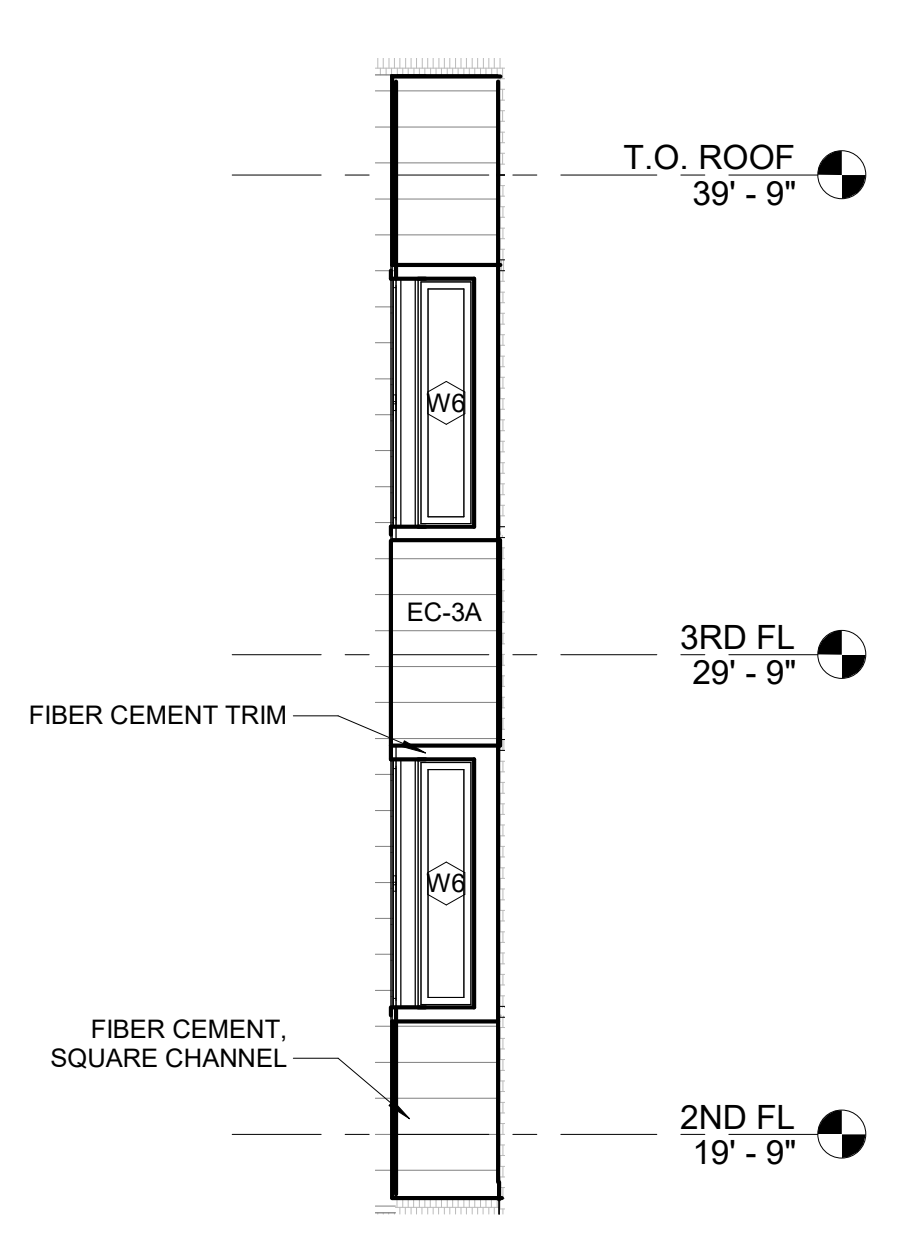
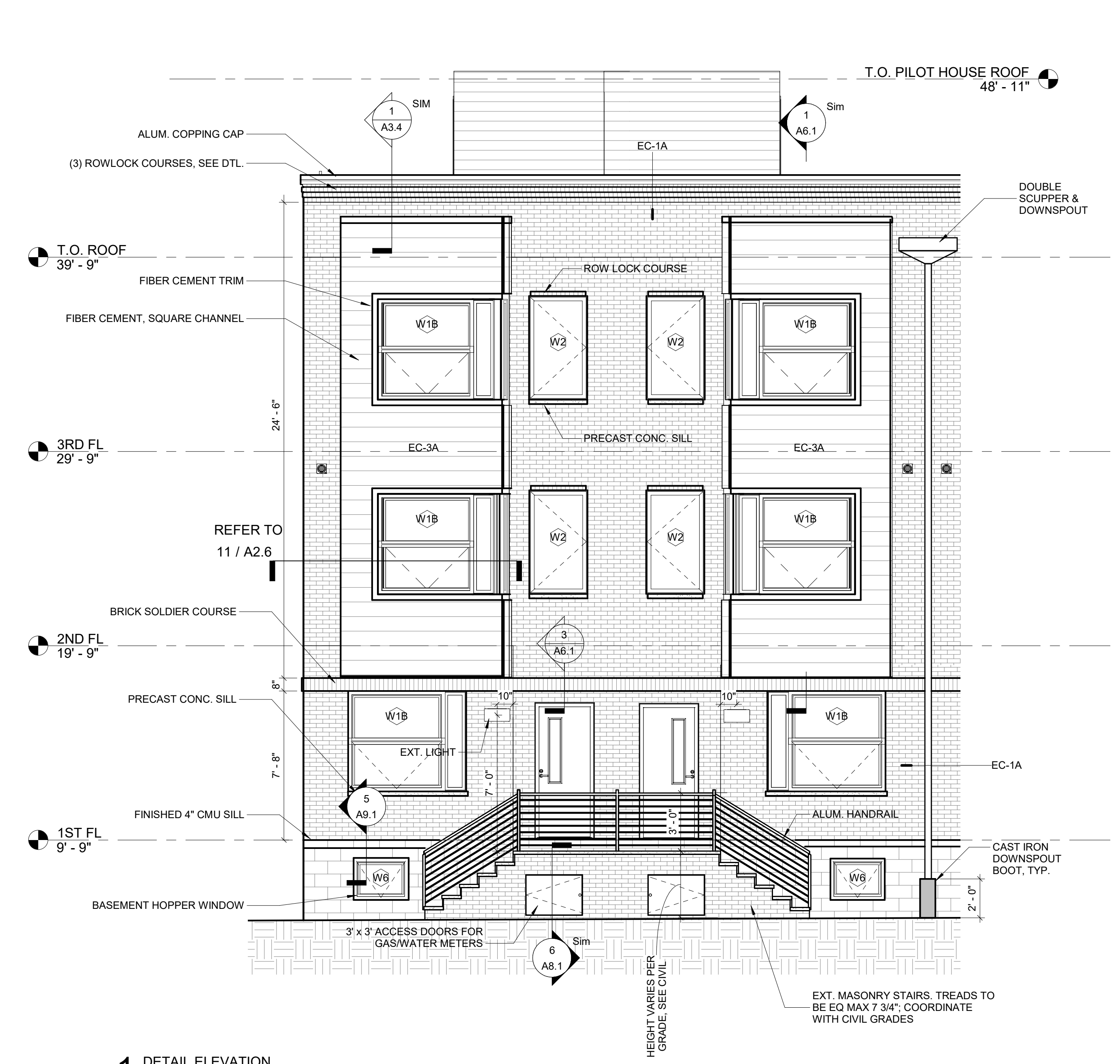
SCALE: 1/4" = 1'-0" DRAWN BY: CR  
 DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

**A5.3**

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20



3 UNIT - TYP - ELEVATION - PILOT HOUSE ELEVATION - A  
 1/4" = 1'-0"

4 UNIT - TYP - ELEVATION - PILOT HOUSE ELEVATION - B  
 1/4" = 1'-0"

5 CARRIAGE - TYP - PILOT HOUSE ELEVATION - A  
 1/4" = 1'-0"

6 CARRIAGE - TYP - PILOT HOUSE ELEVATION - B  
 1/4" = 1'-0"

7 CARRIAGE - TYP - PILOT HOUSE ELEVATION - C  
 1/4" = 1'-0"

PROJECT NAME

SALMON STREET TOWNHOUSES  
2656-70 SALMON ST  
PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER  
KIDDNA, LLC  
1516 N 5TH ST, STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

STRUCTURAL  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
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SYSTEMS  
BHG CONSULTING, INC  
1812 SOUTH 22ND ST  
PHILADELPHIA, PA 19145  
215-755-9318

CIVIL ENGINEER  
MASER CONSULTING, PA  
410 EAGLEVIEW BOULEVARD, SUITE 104  
EXTON, PA 19341  
610-254-9140

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SEAL:



REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

3D VIEWS

SCALE:	DRAWN BY: CR
DATE: 09/11/20	CHECKED BY: DP

SHEET NO.

A5.4



1 SALMON ST



3 TILTON ST



2 SALMON ST ELEVATION

FOR CONSTRUCTION 09/11/20

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REVISIONS		
NO.	DATE	ISSUE

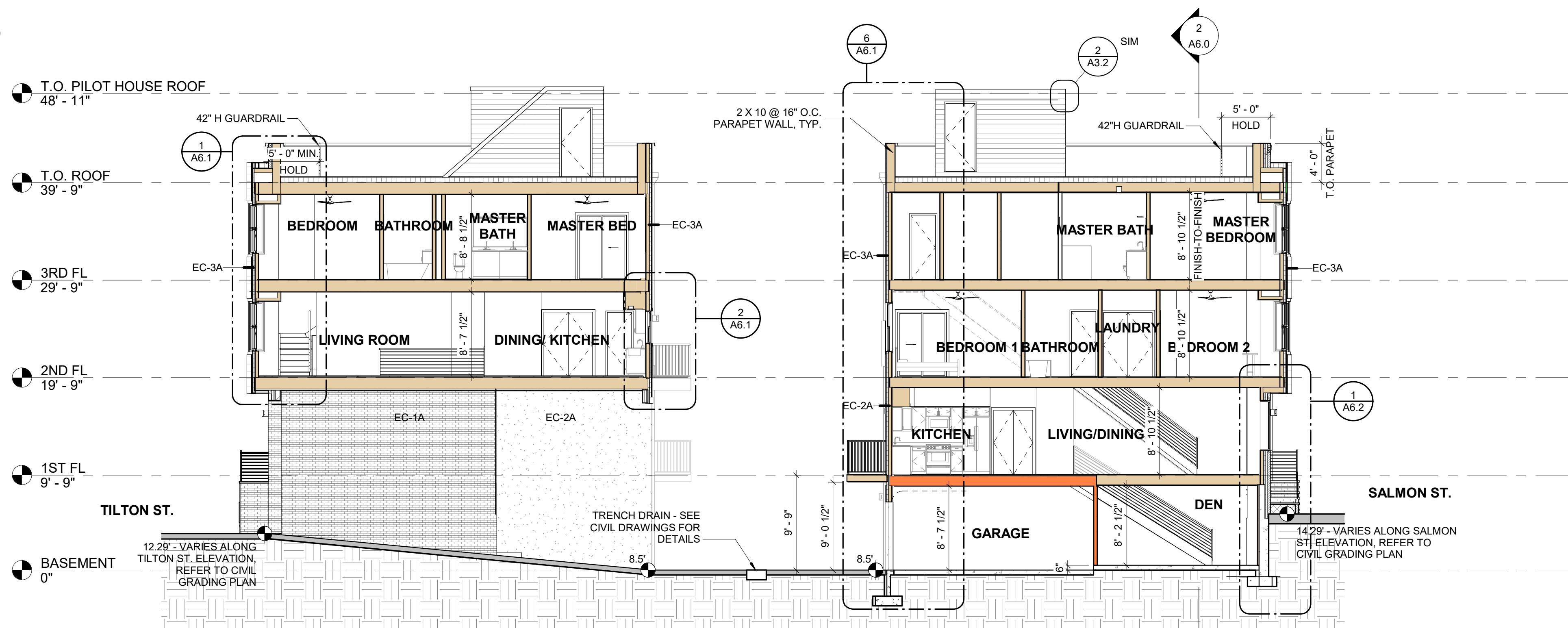
DRAWING TITLE  
**BUILDING SECTIONS**

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

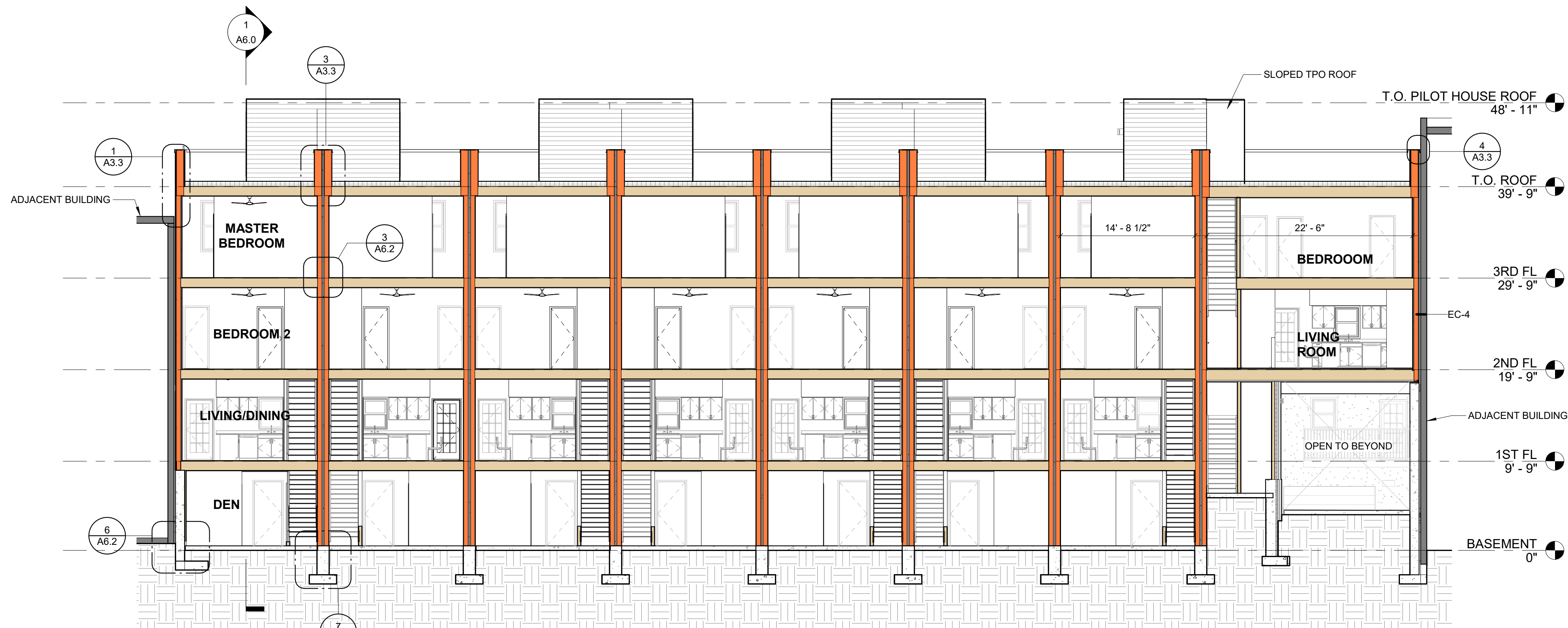
SHEET NO.  
**A6.0**

PROJECT NO. 1915

NOTE:  
FLOOR LEVELS ARE SPECIFIED AT TOP OF STRUCTURAL FRAMING MEMBERS.



1 CROSS SECTION  
1/8" = 1'-0"



2 LONGITUDINAL SECTION  
1/8" = 1'-0"

FOR CONSTRUCTION 09/11/20

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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

WALL SECTION DETAILS

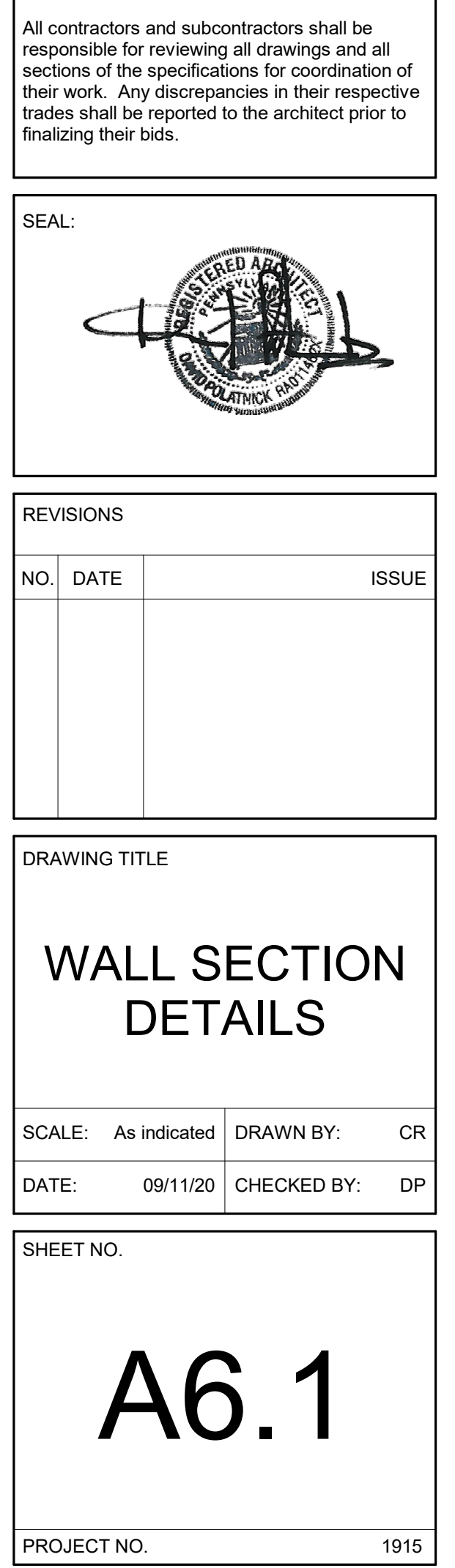
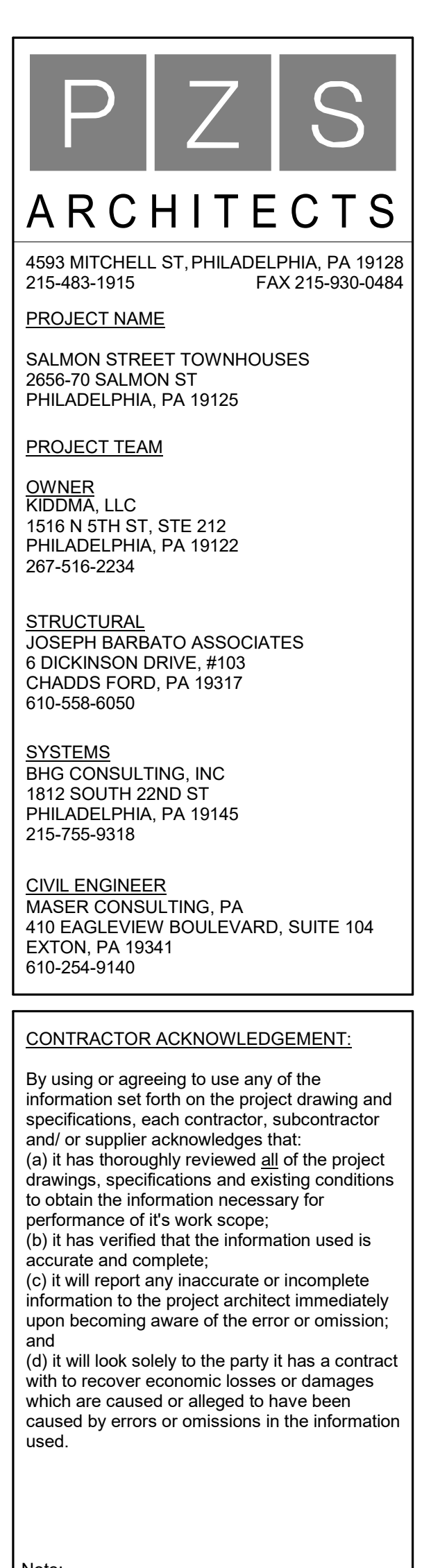
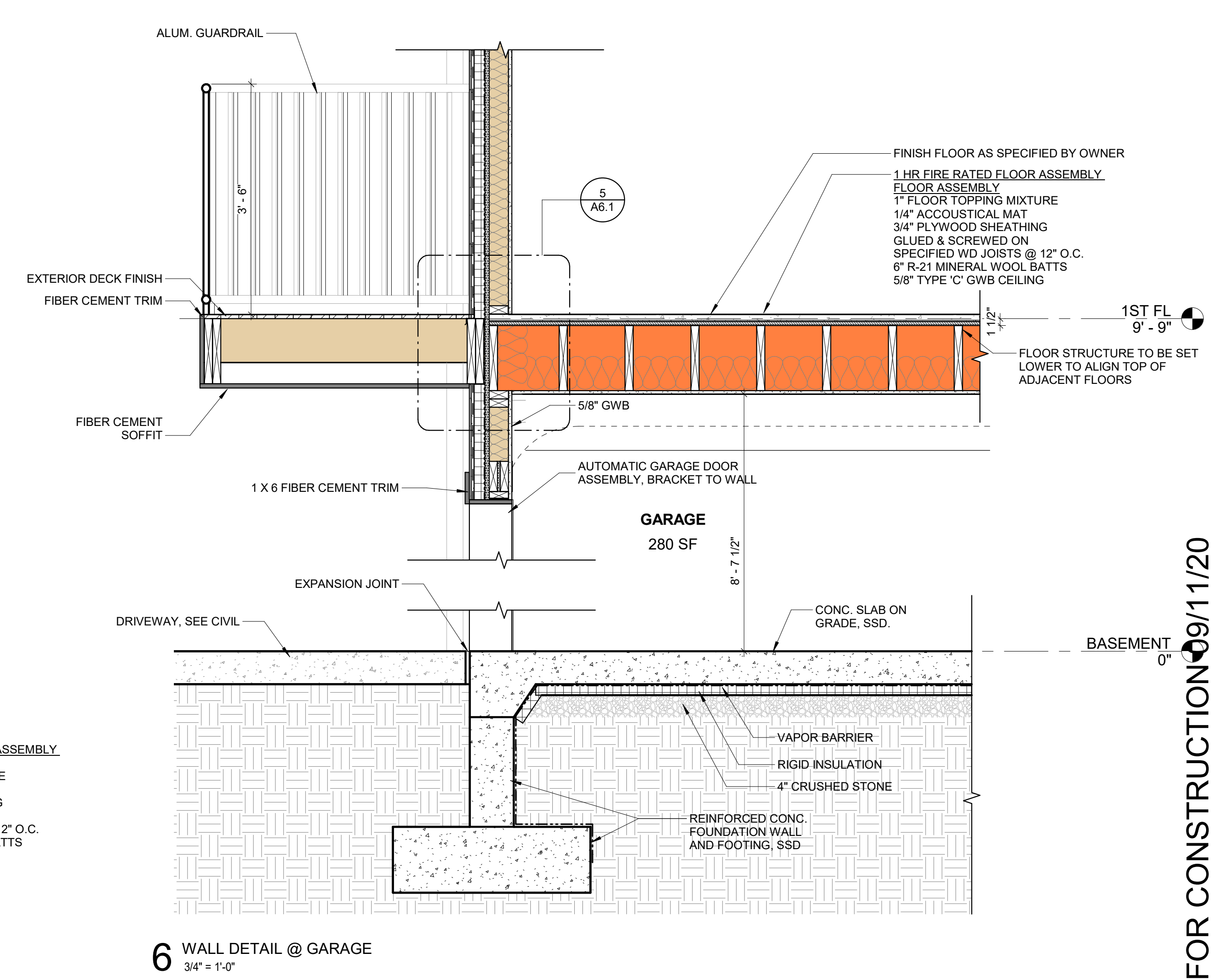
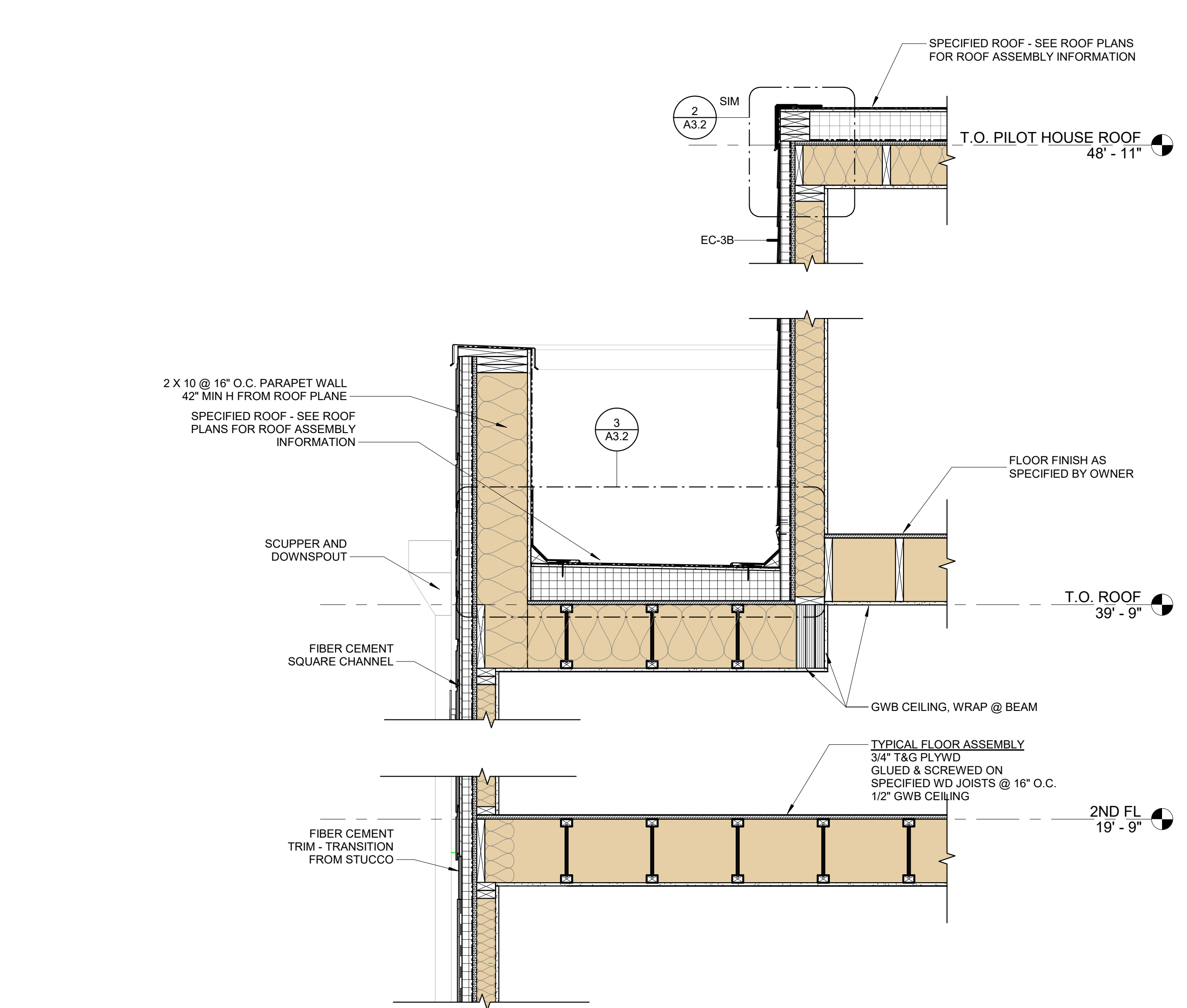
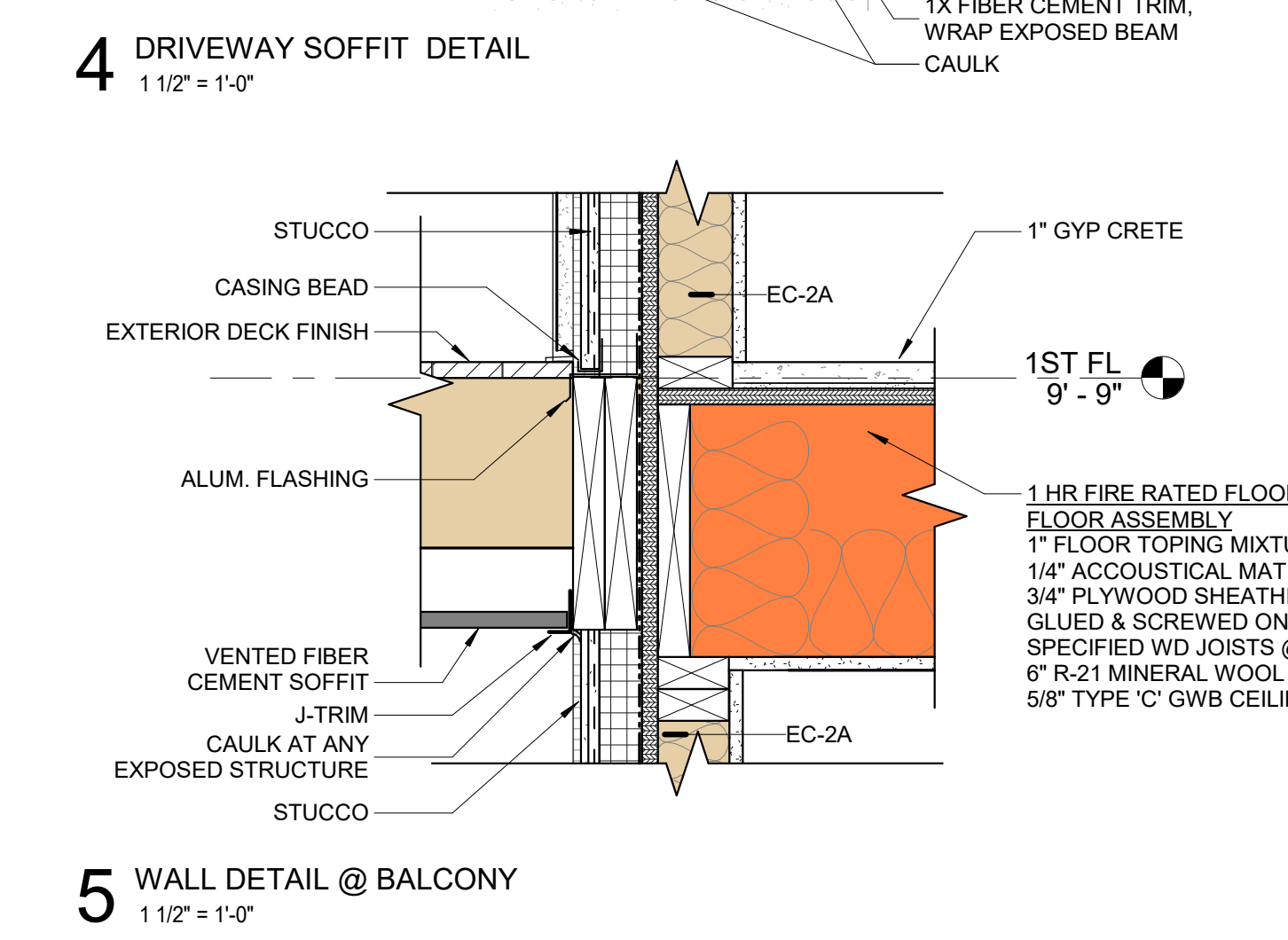
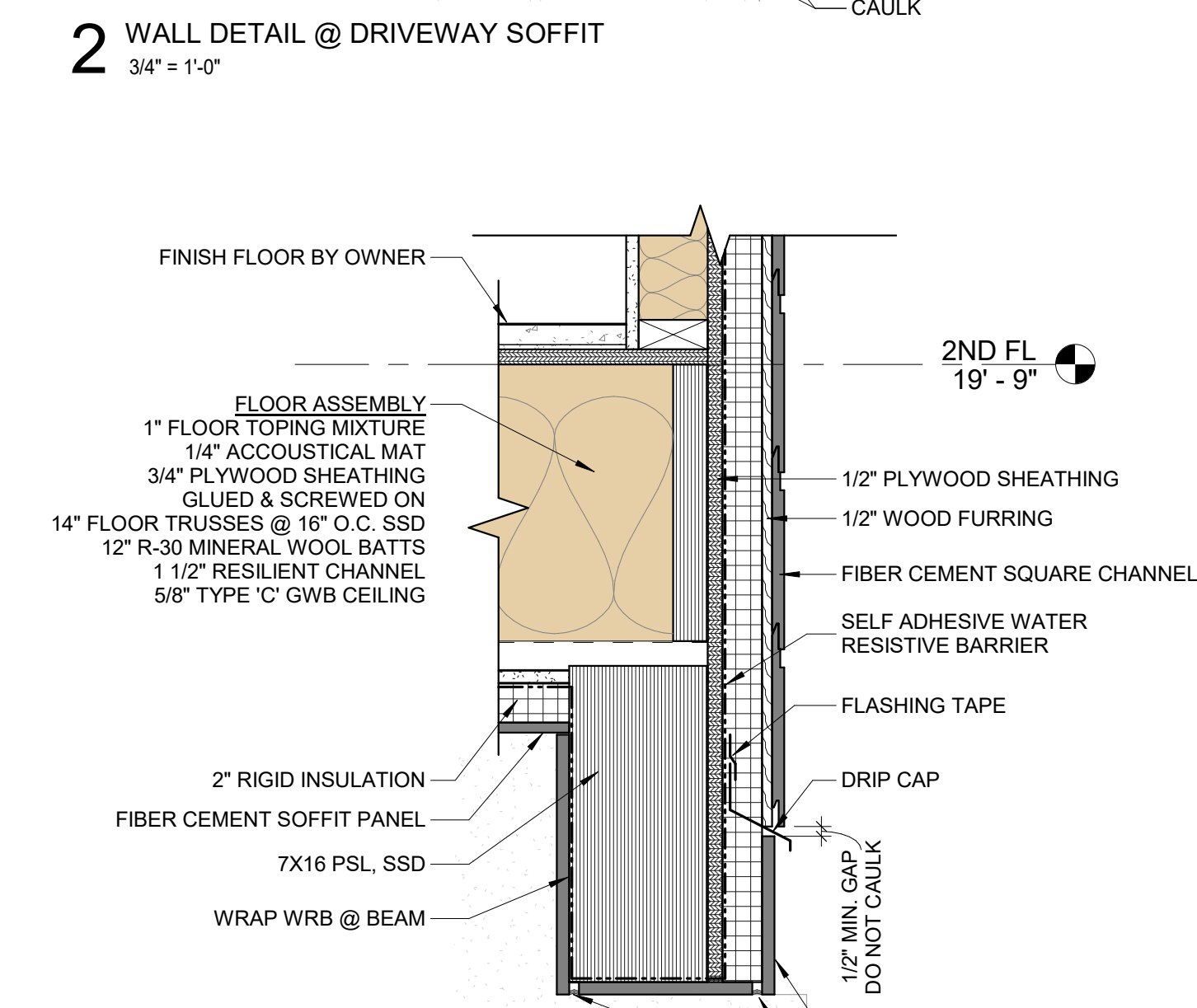
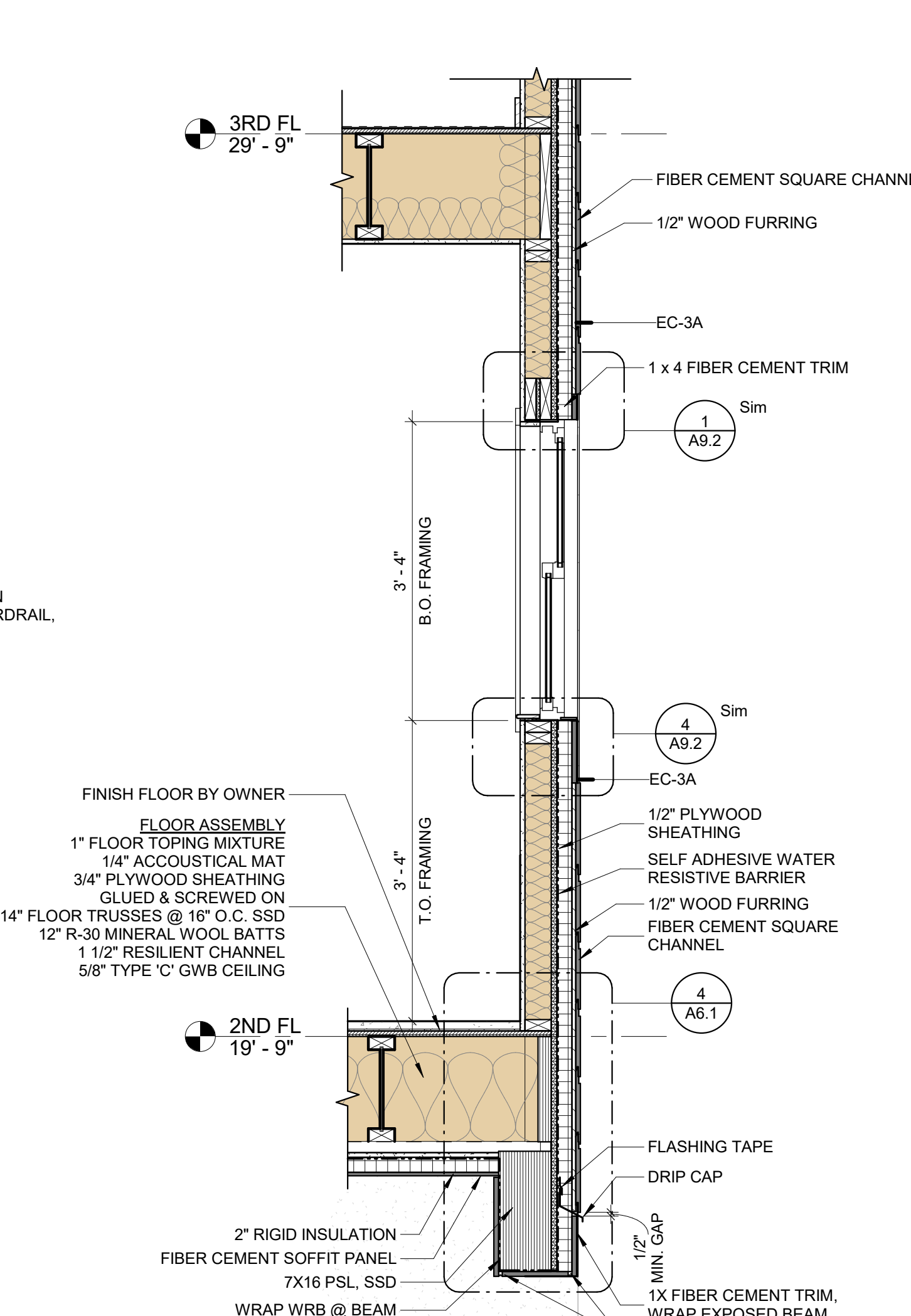
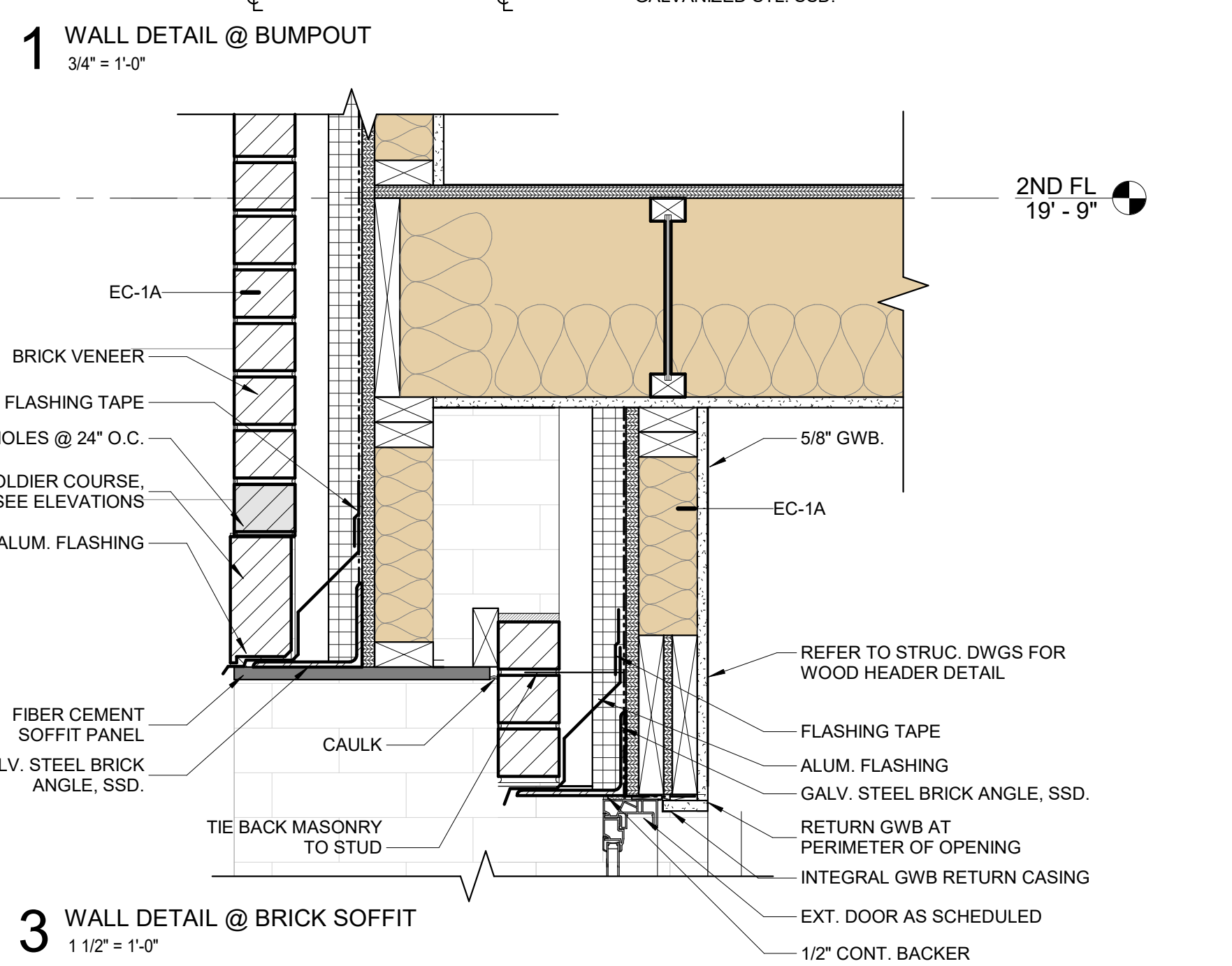
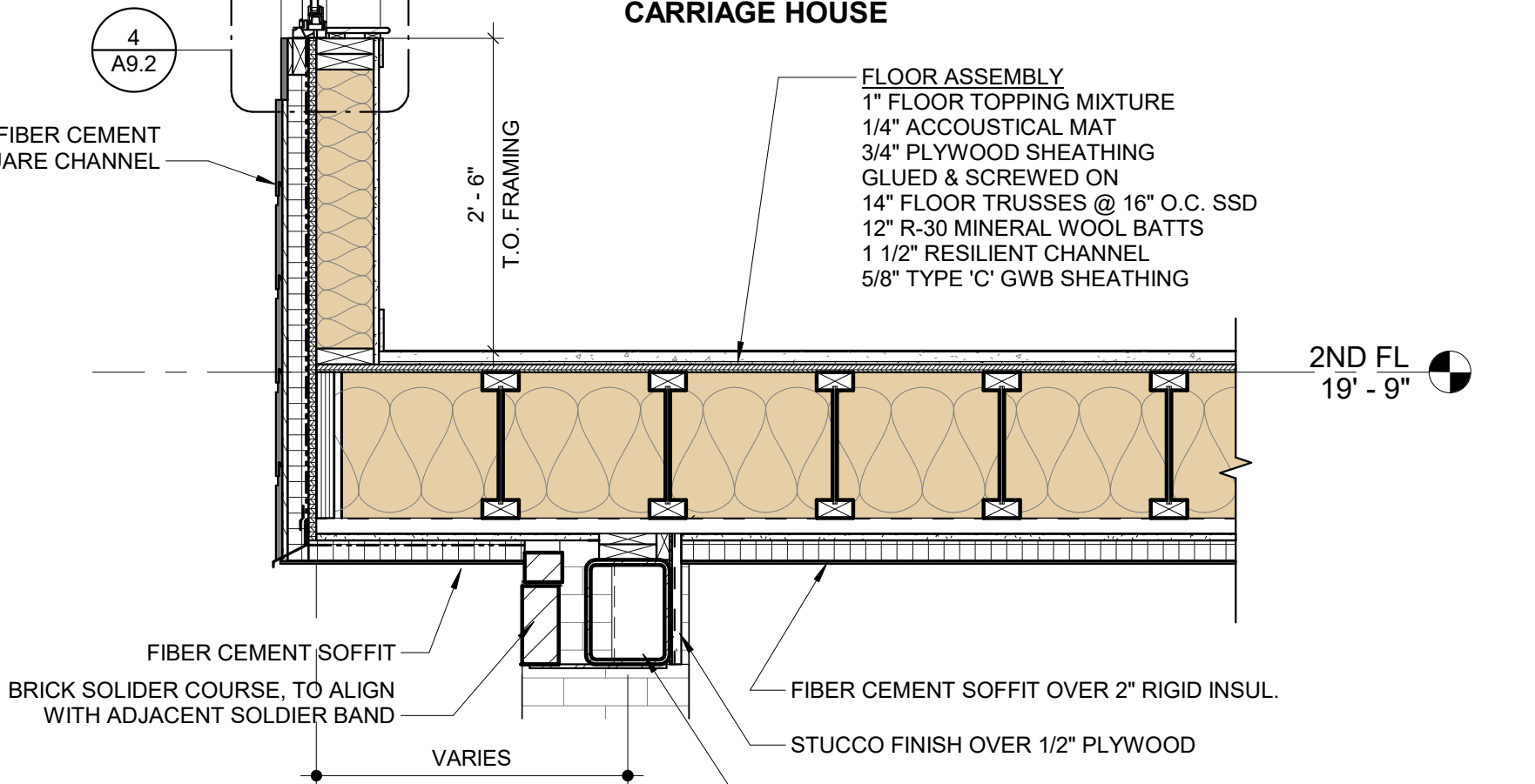
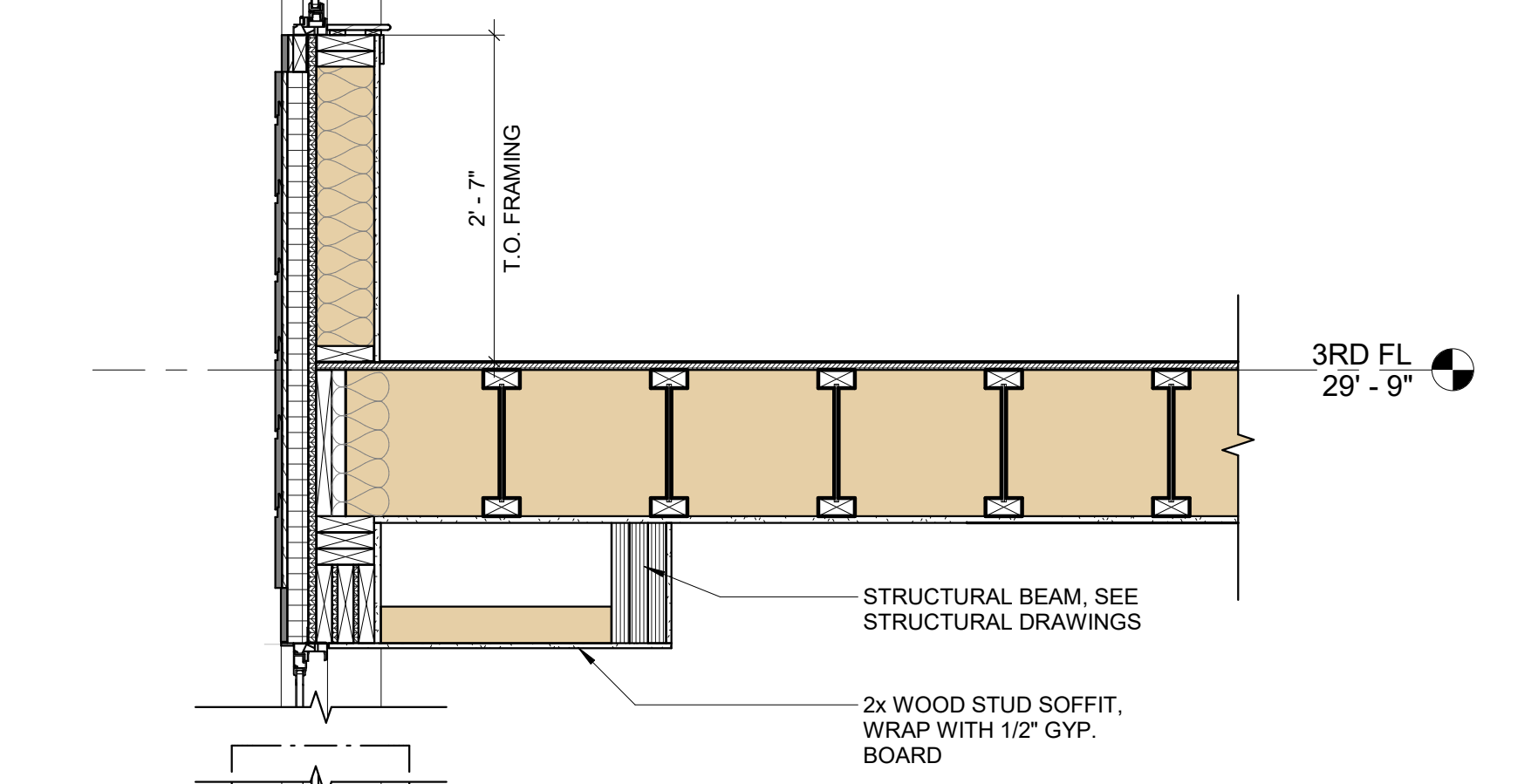
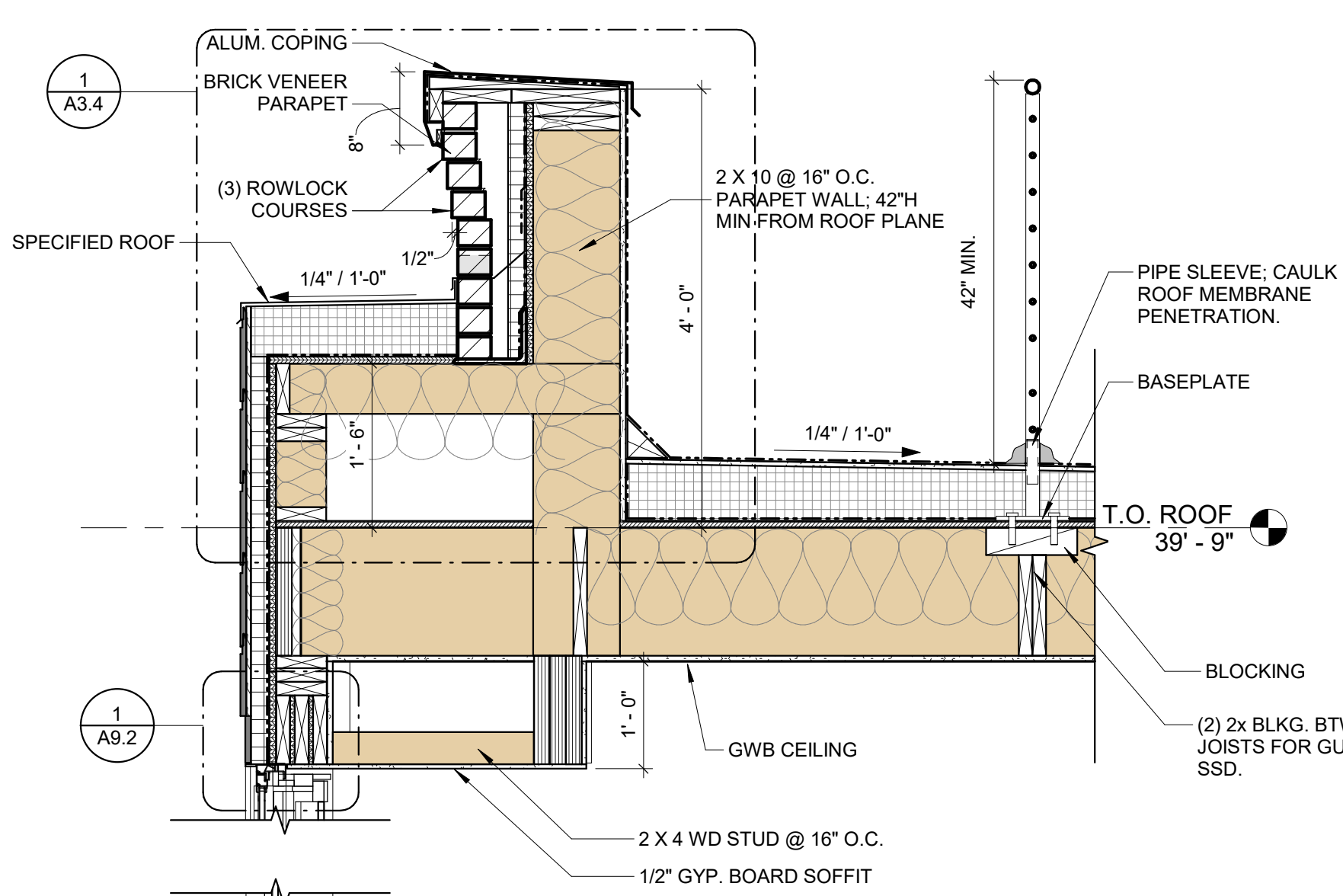
SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

A6.1

PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20



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NO.	DATE	ISSUE

DRAWING TITLE

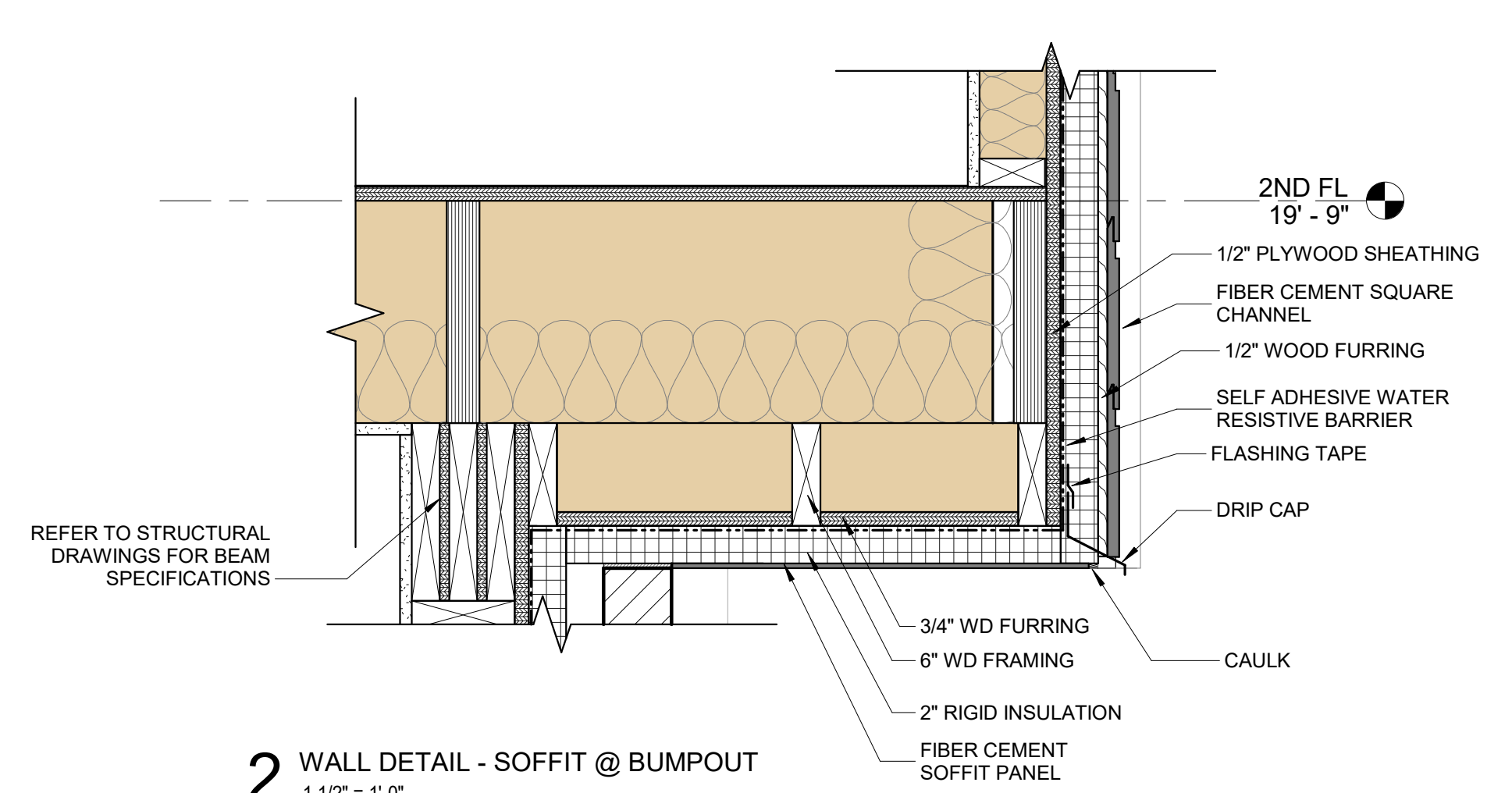
WALL SECTION DETAILS

SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

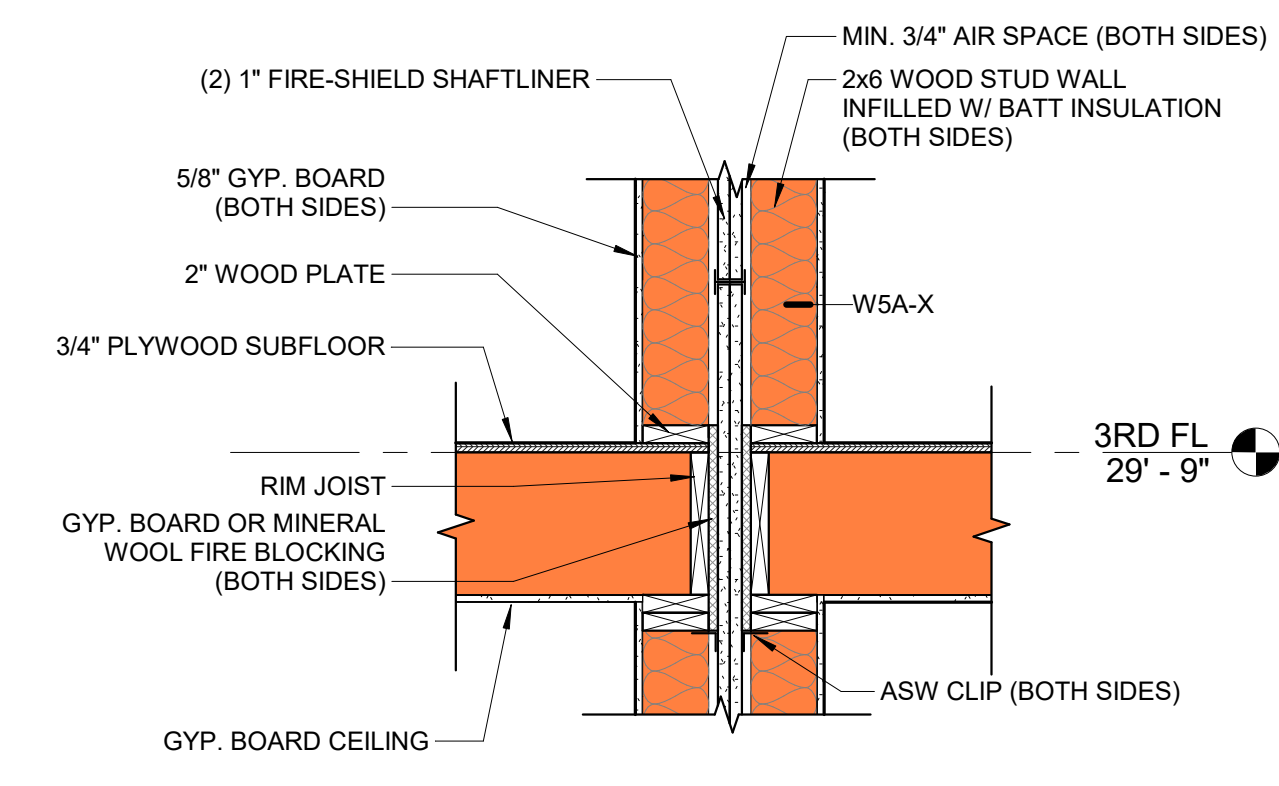
SHEET NO.

A6.2

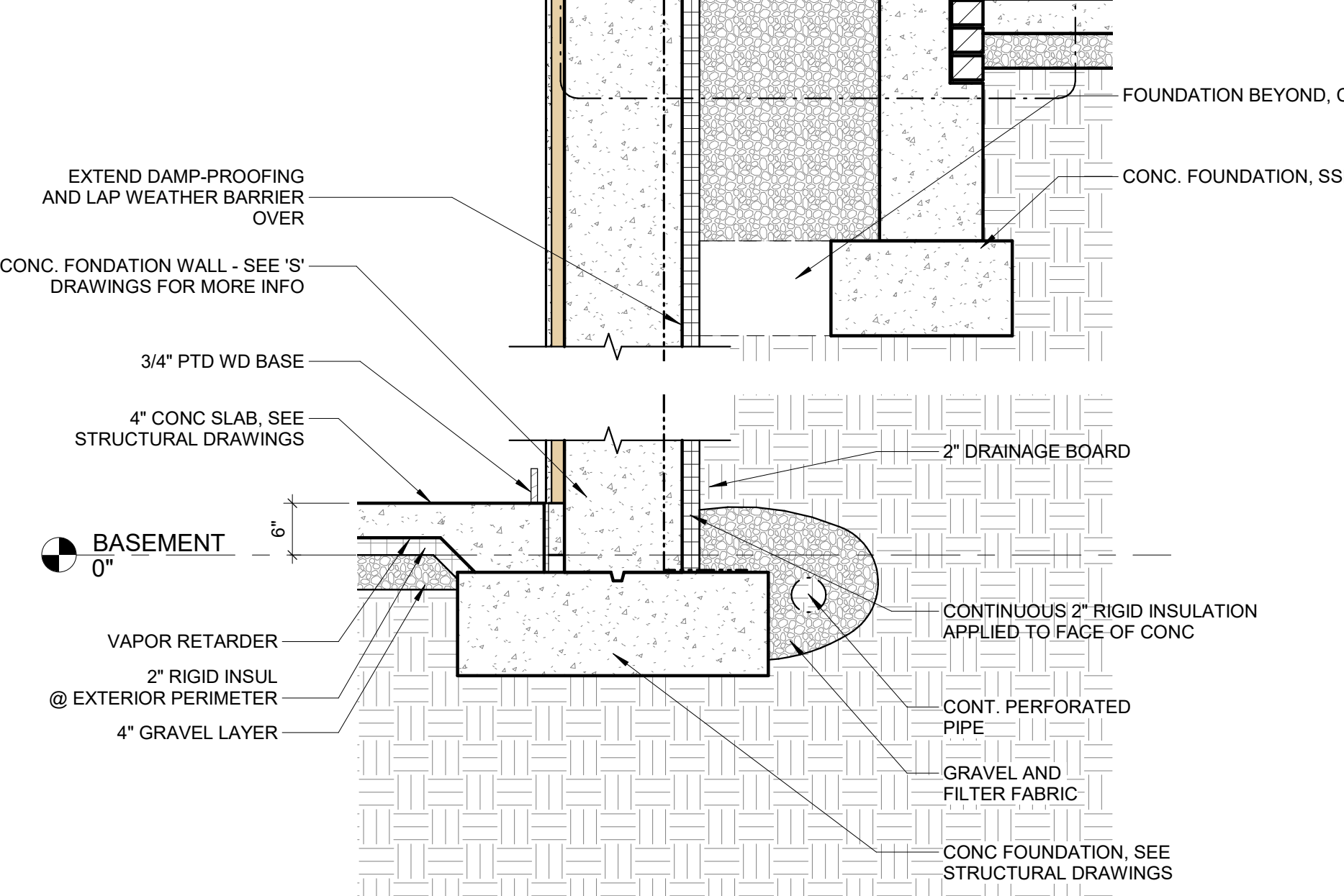
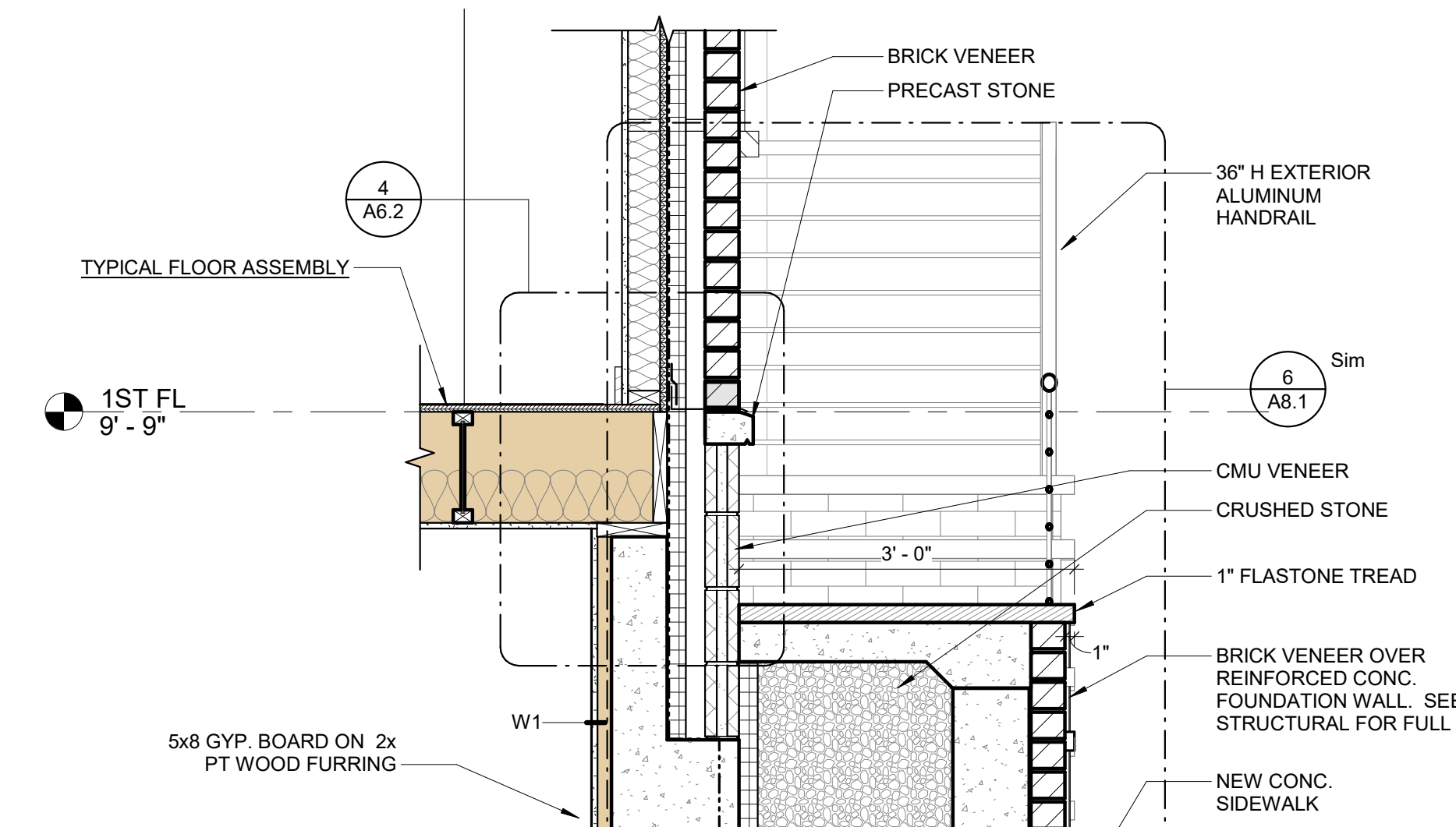
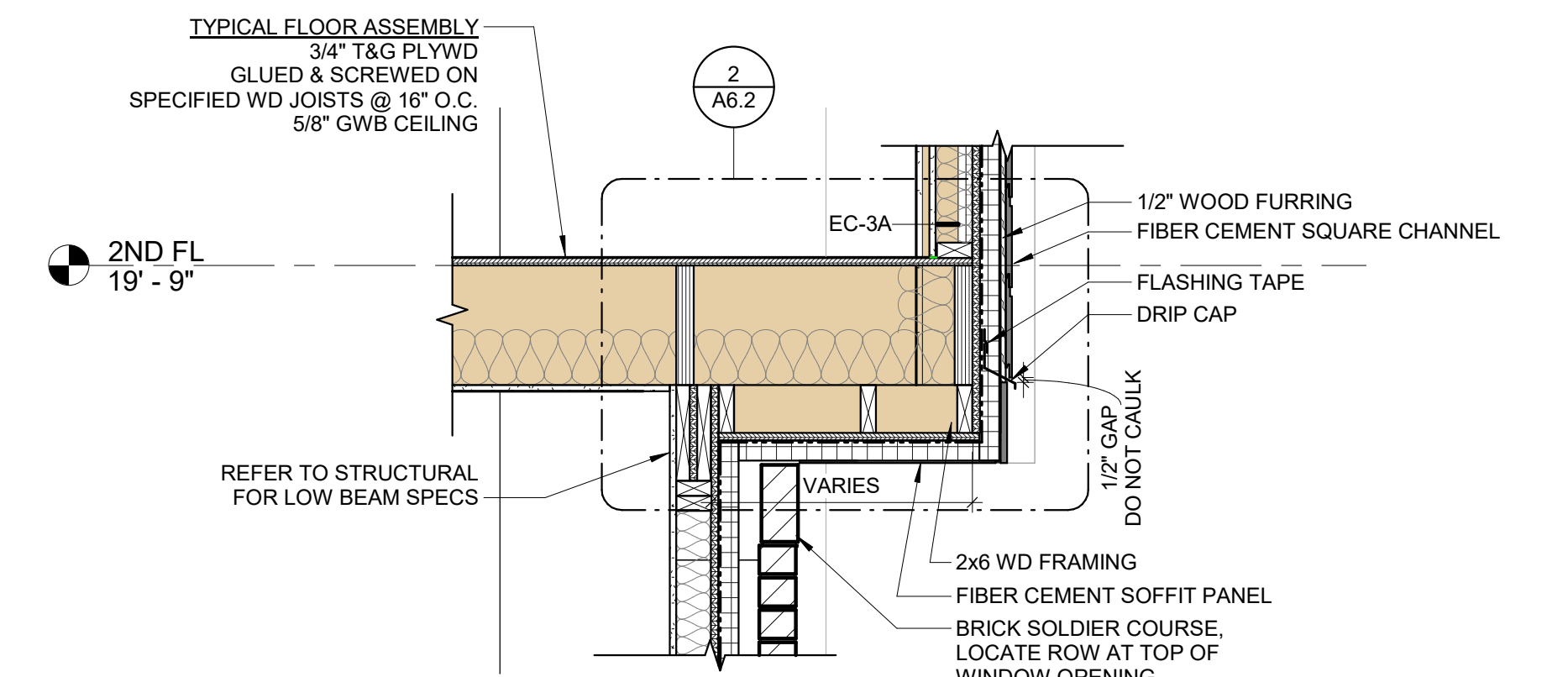
PROJECT NO. 1915



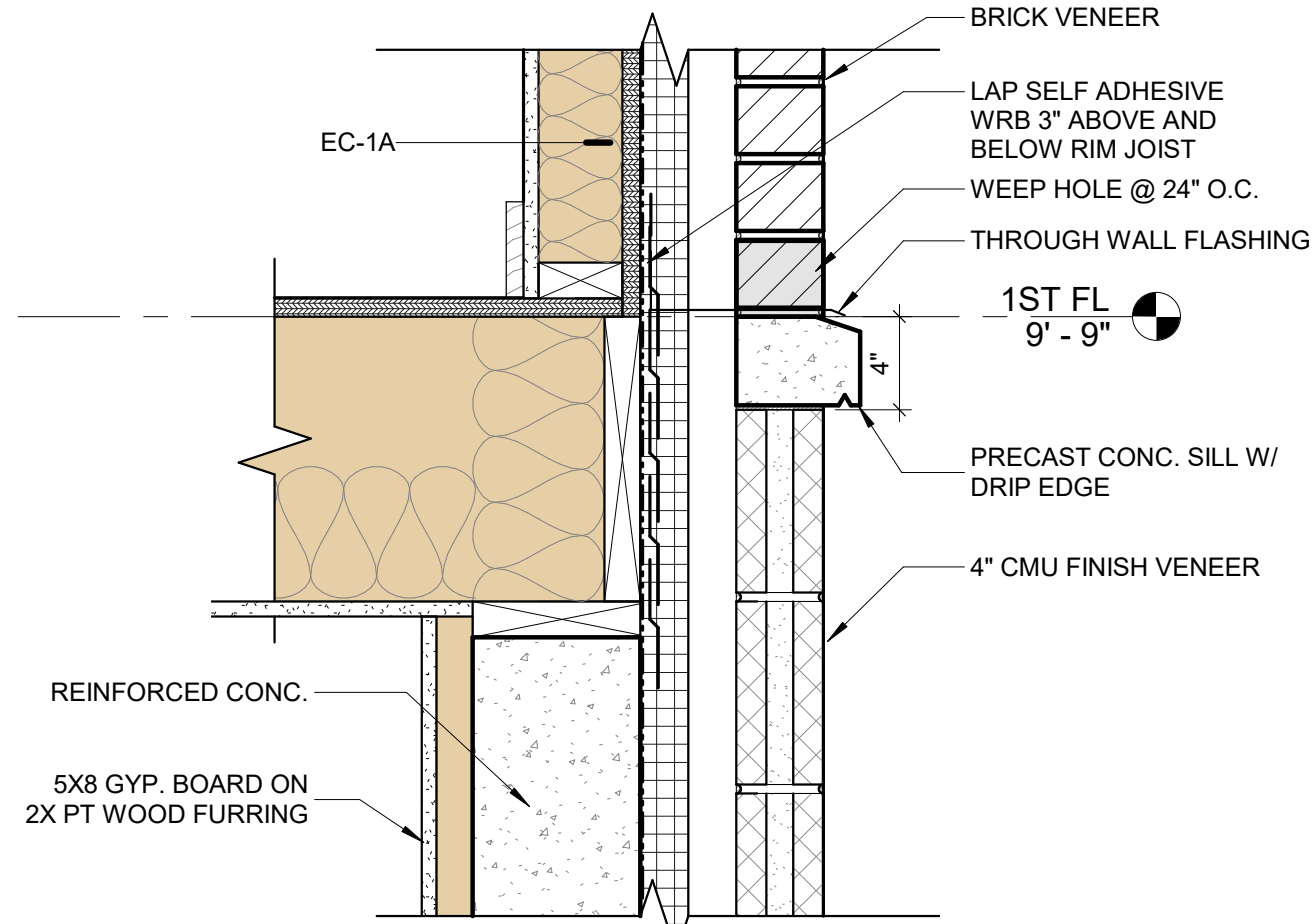
2 WALL DETAIL - SOFFIT @ BUMPOUT  
1 1/2" = 1'-0"



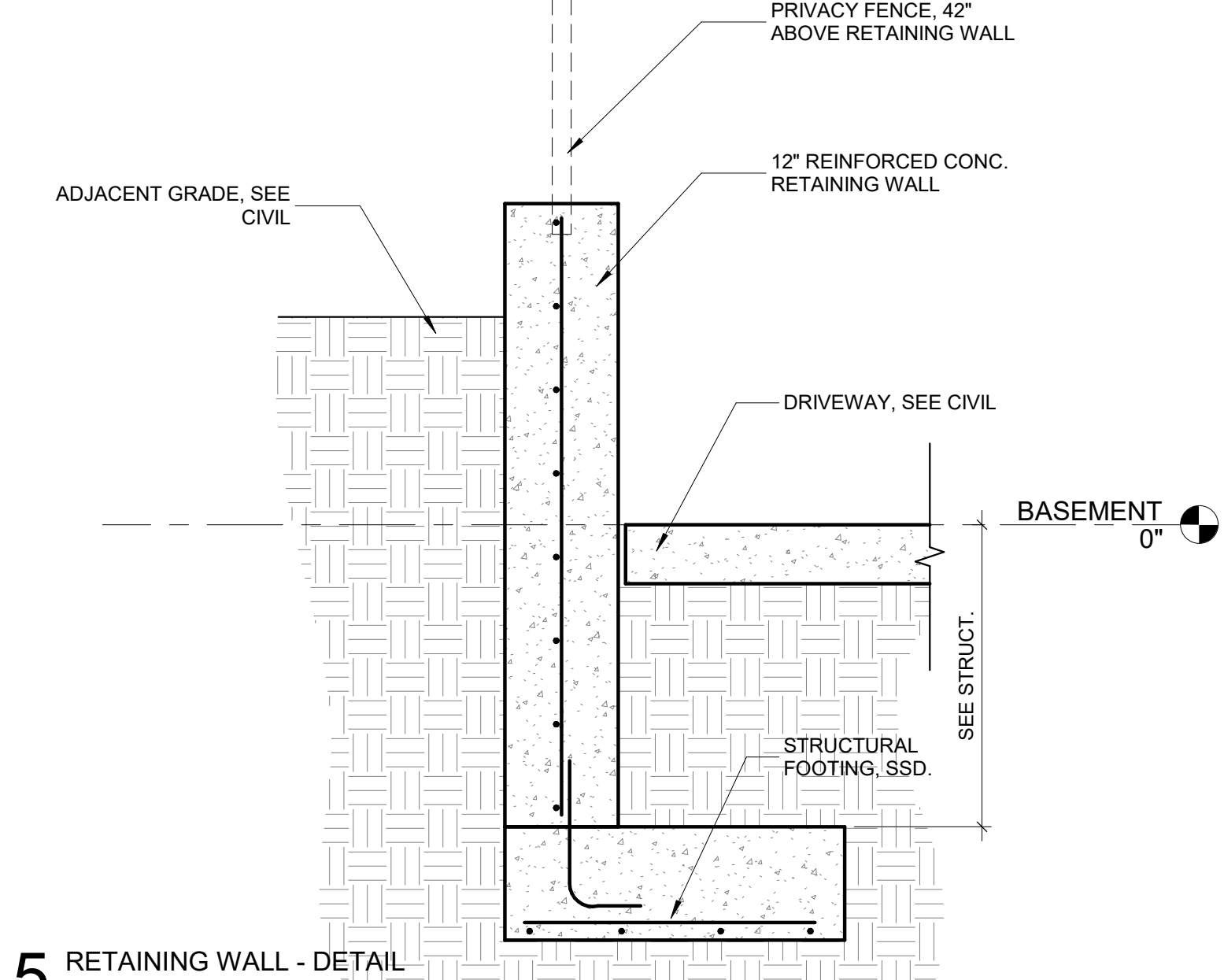
3 WALL DETAIL - FIRE SEPARATION @ FLOOR  
3/4" = 1'-0"



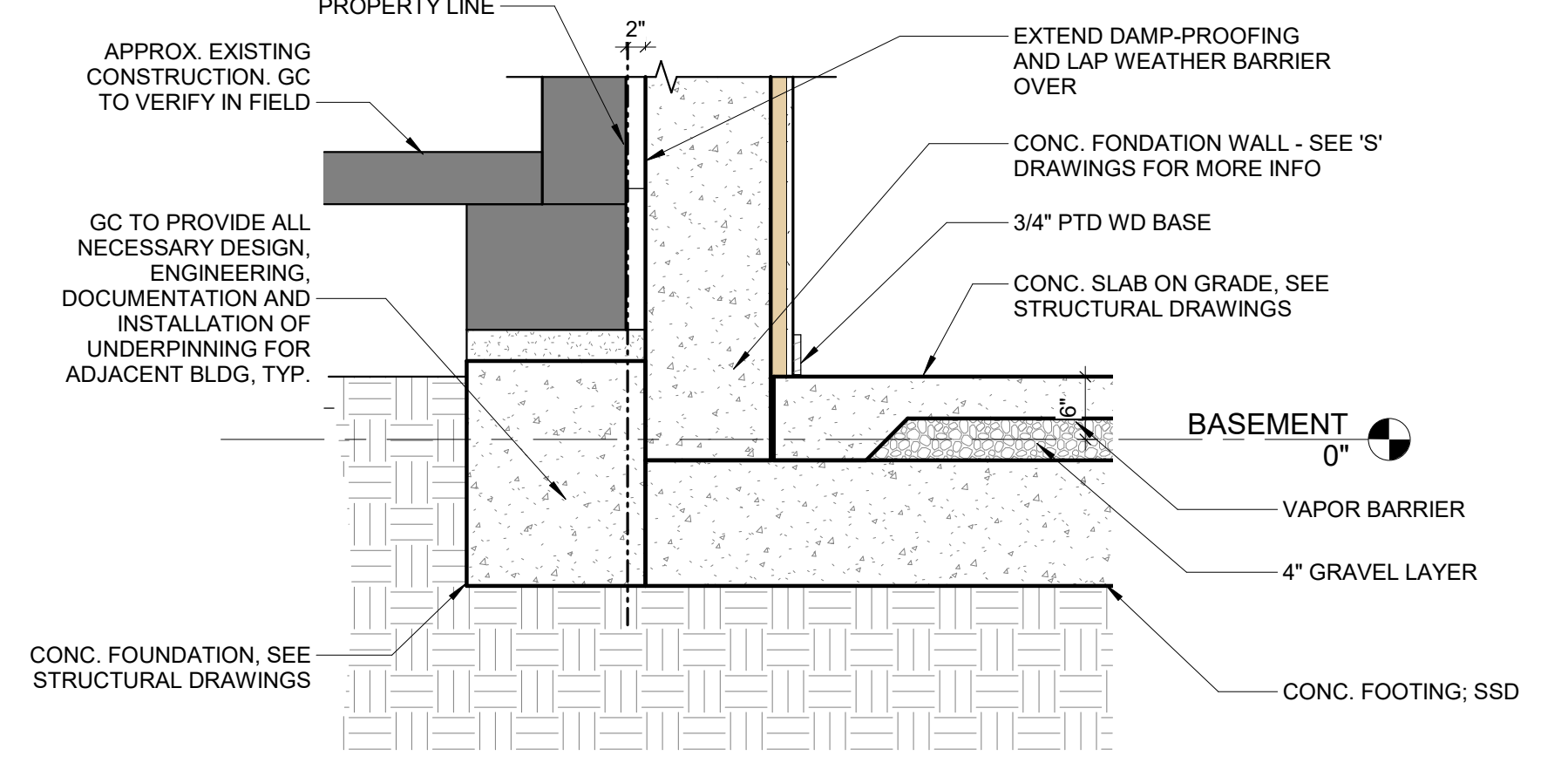
1 WALL DETAIL @ SIDEWALK  
3/4" = 1'-0"



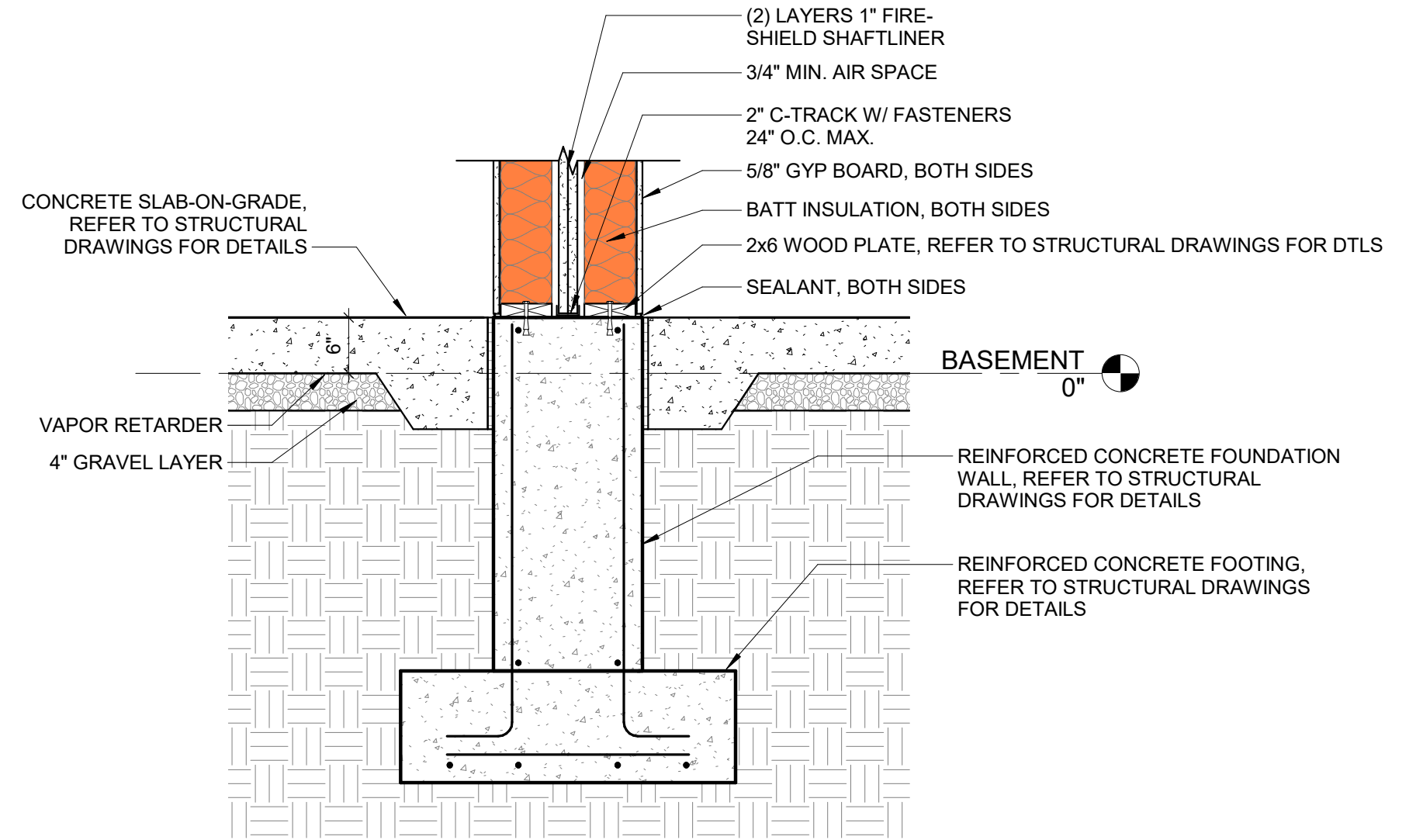
4 WALL DETAIL - CMU TO BRICK  
1 1/2" = 1'-0"



5 RETAINING WALL - DETAIL  
3/4" = 1'-0"



6 FOUNDATION DETAIL @ EXISTING  
3/4" = 1'-0"



7 FOUNDATION DETAIL @ FIRE SEPARATION  
3/4" = 1'-0"

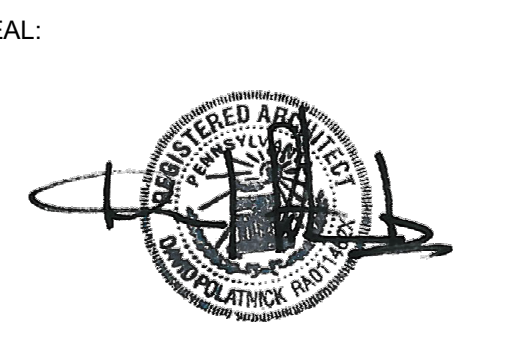
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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

CASEWORK  
PLANS &  
ELEVATIONS

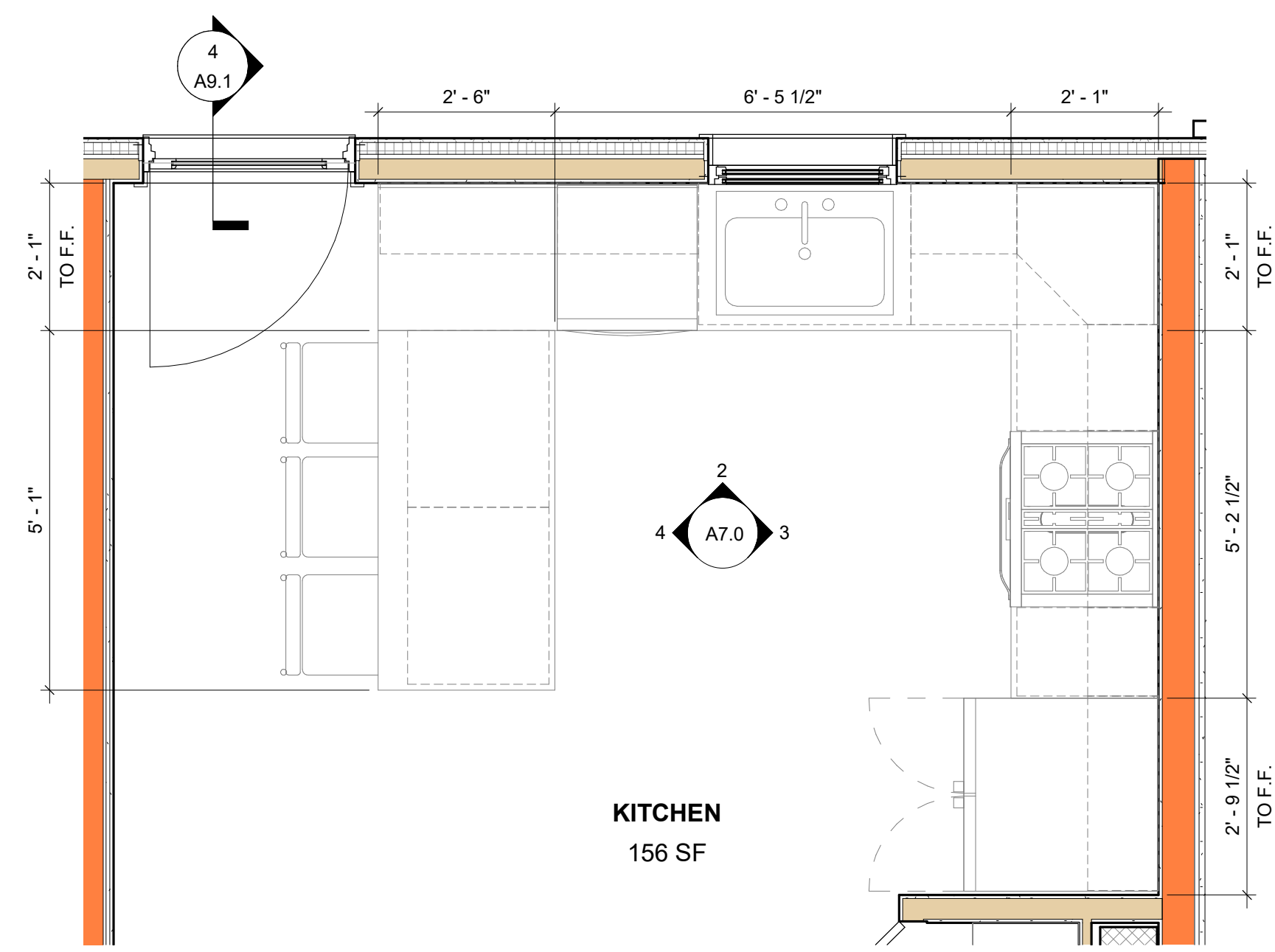
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DATE: 09/11/20 CHECKED BY: DP

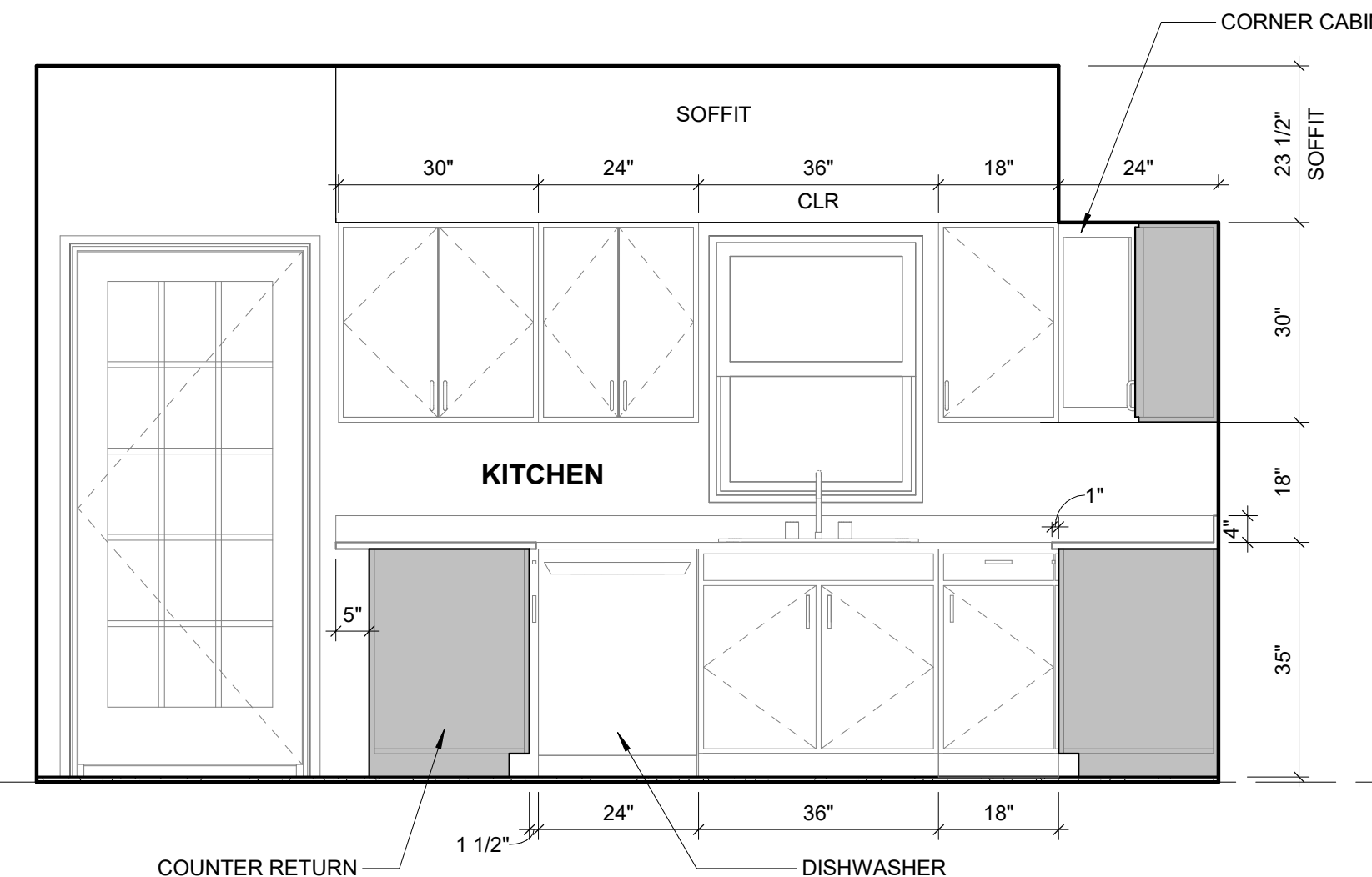
SHEET NO.

A7.0

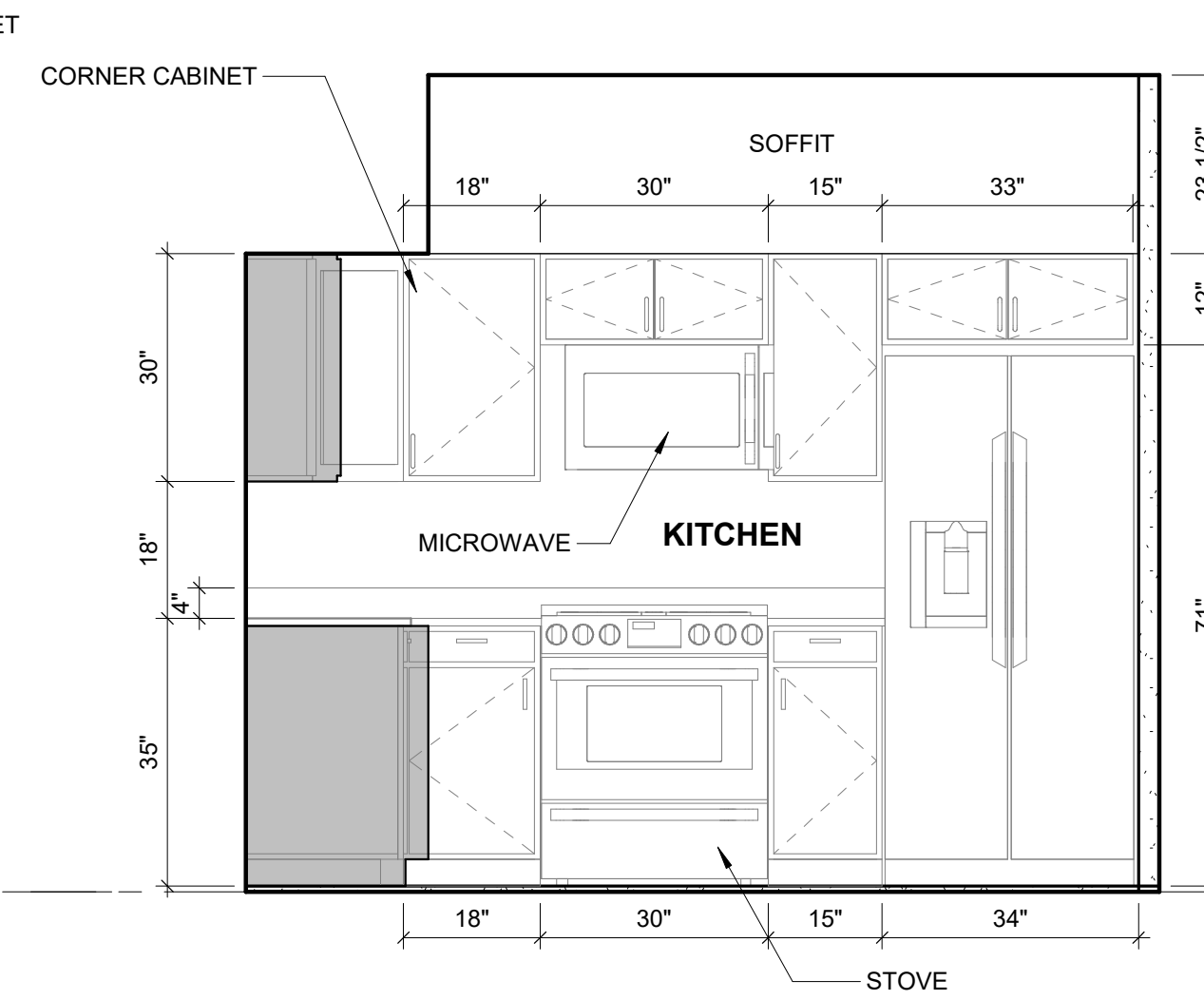
PROJECT NO. 1915



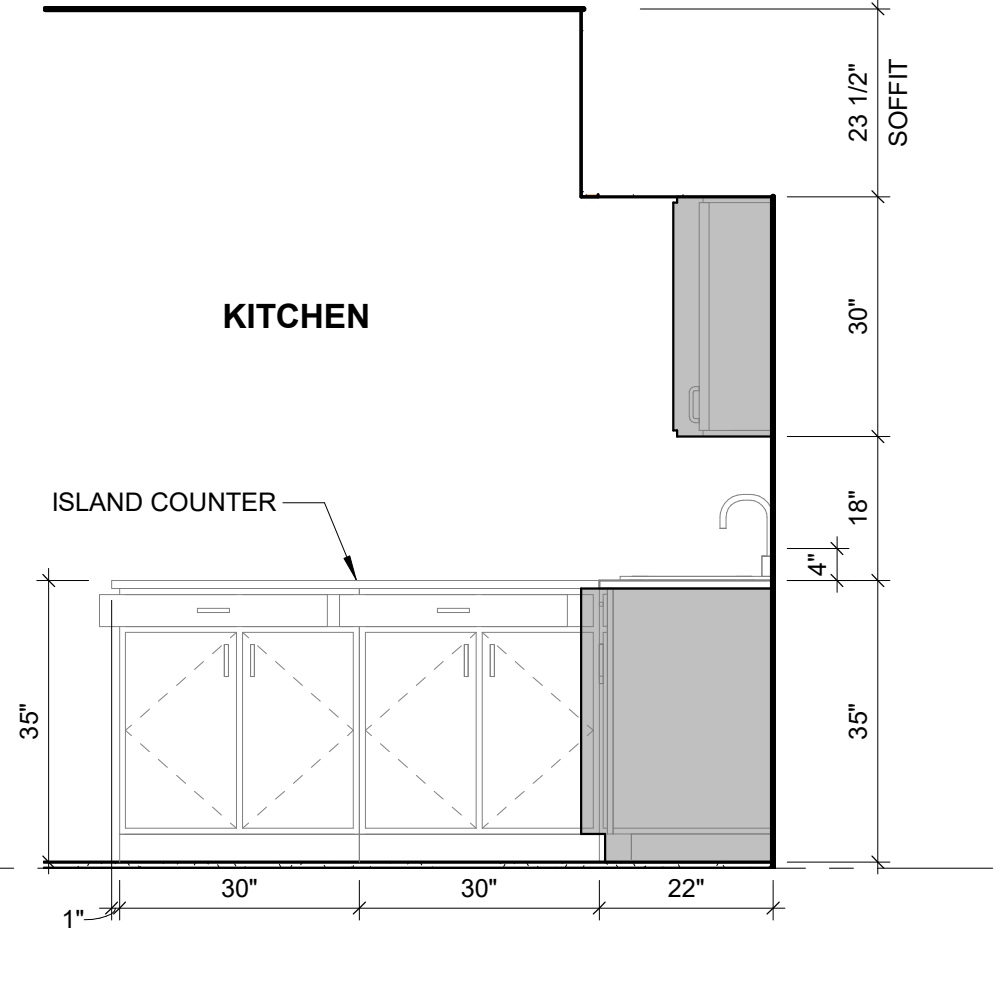
1 ENLARGED PLAN - TYP - KITCHEN CASEWORK  
1/2" = 1'-0"



2 TYP. UNIT SINK ELEVATION  
1/2" = 1'-0"



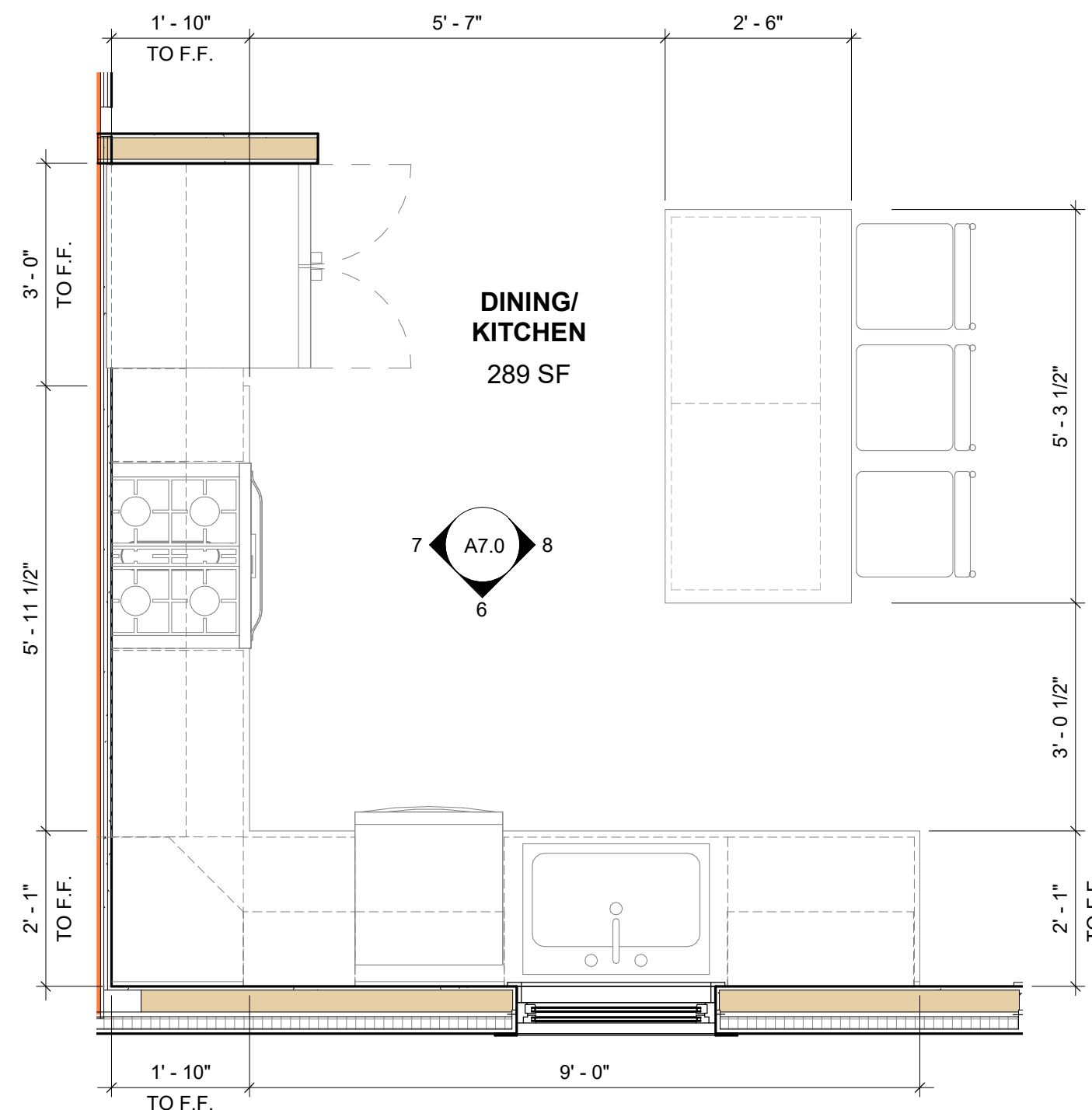
3 TYP. UNIT STOVE ELEVATION  
1/2" = 1'-0"



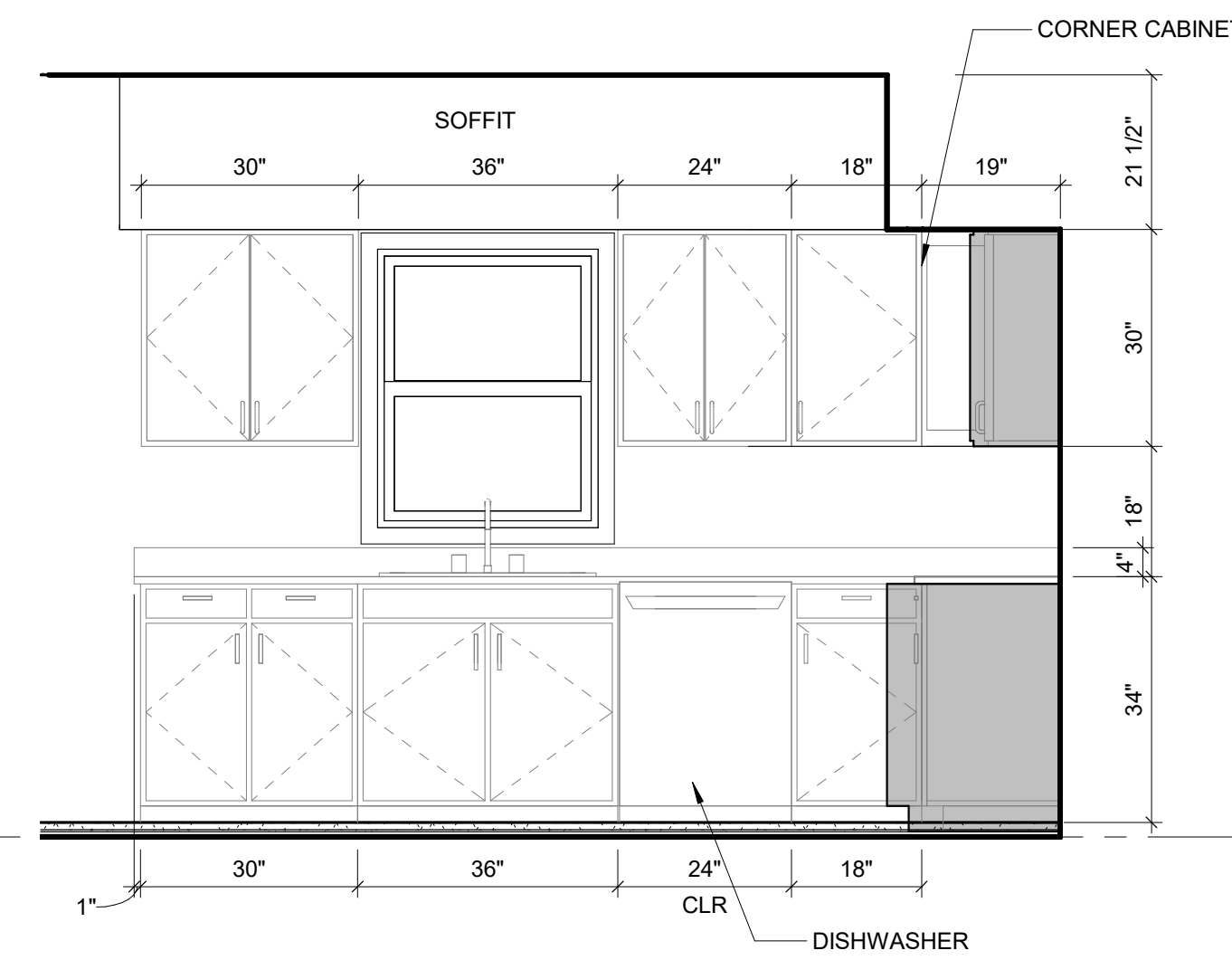
4 ISLAND RETURN  
1/2" = 1'-0"

GENERAL KITCHEN/ TOILET ROOM NOTES:

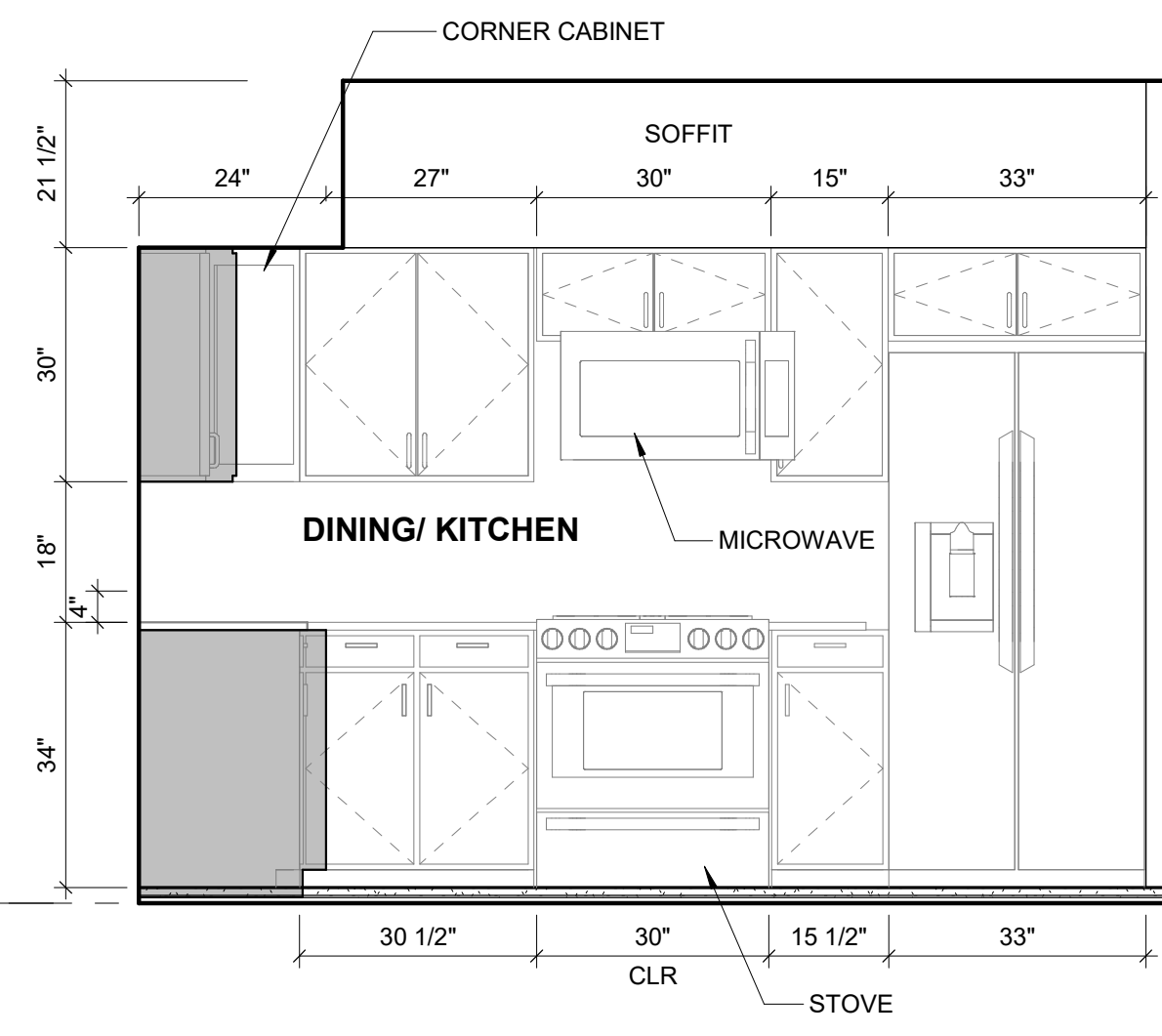
- ALL WALL AND BASE CABINETS ARE TO BE SELECTED BY OWNER.
- ALL KITCHEN COUNTERTOPS AND BACKSPASHES ARE TO BE SELECTED BY OWNER.
- ALL PLUMBING FIXTURES ARE TO BE SELECTED BY OWNER
- G.C. TO PROVIDE BLOCKING AT ALL MOUNTED ACCESSORIES INCLUDING, BUT NOT LIMITED TO, TOILET PAPER HOLDERS, CURTAIN RODS, TOWEL RODS, MIRRORS, MILLWORK, ETC.
- G.C. IS RESPONSIBLE TO COORDINATE ALL KITCHEN APPLIANCES WITH OWNER PRIOR TO CABINERY FABRICATION AND INSTALLATION, TYP. AT ALL KITCHENS.



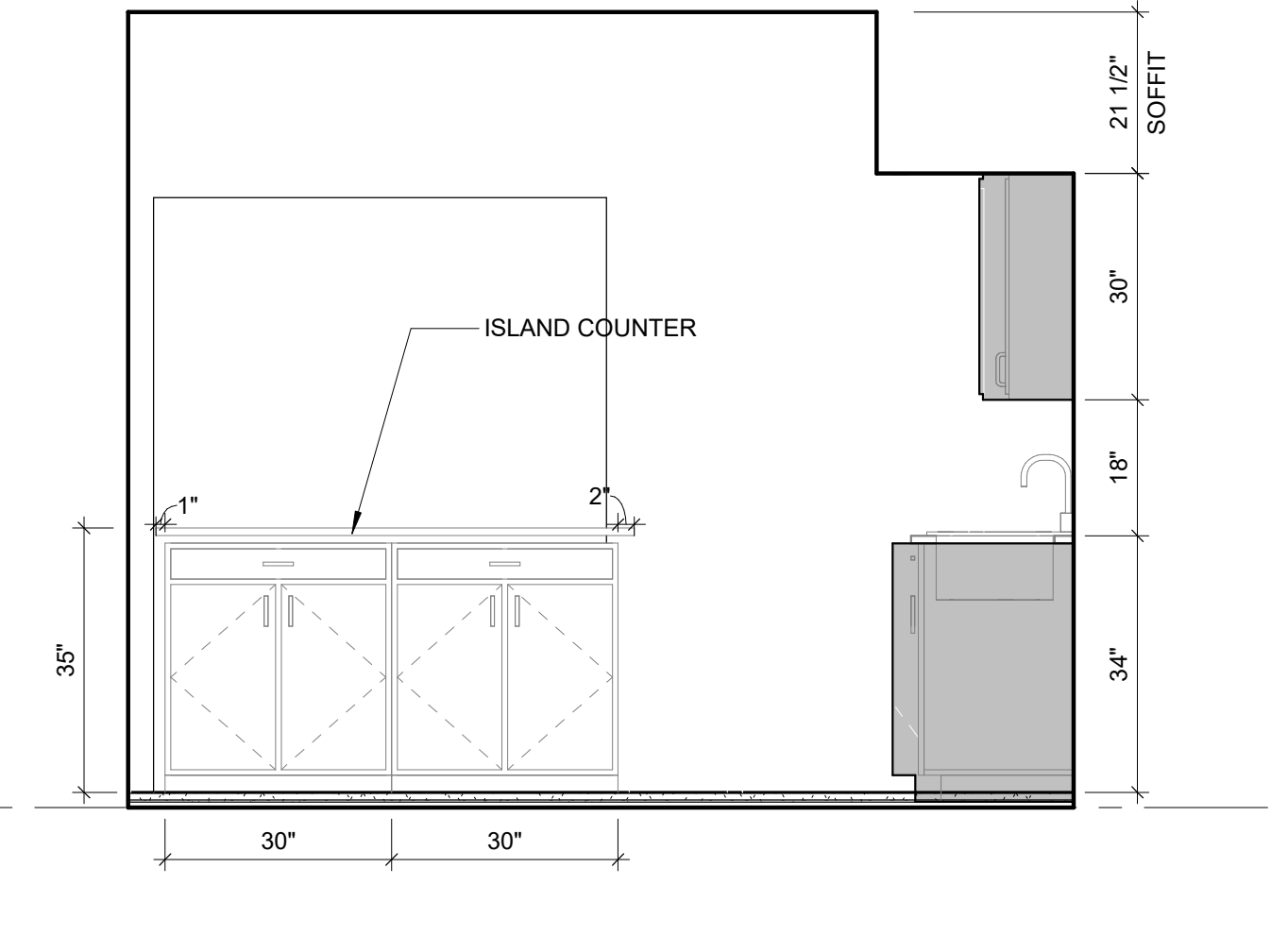
5 ENLARGED PLAN - TYP - CARRIAGE HOUSE KITCHEN CASEWORK  
1/2" = 1'-0"



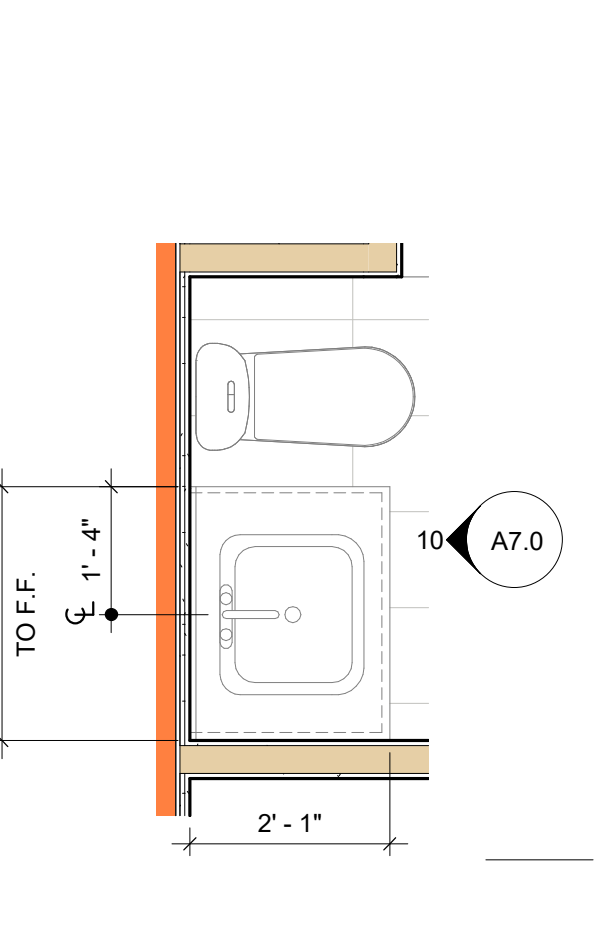
6 CARRIAGE HOUSE KITCHEN - A  
1/2" = 1'-0"



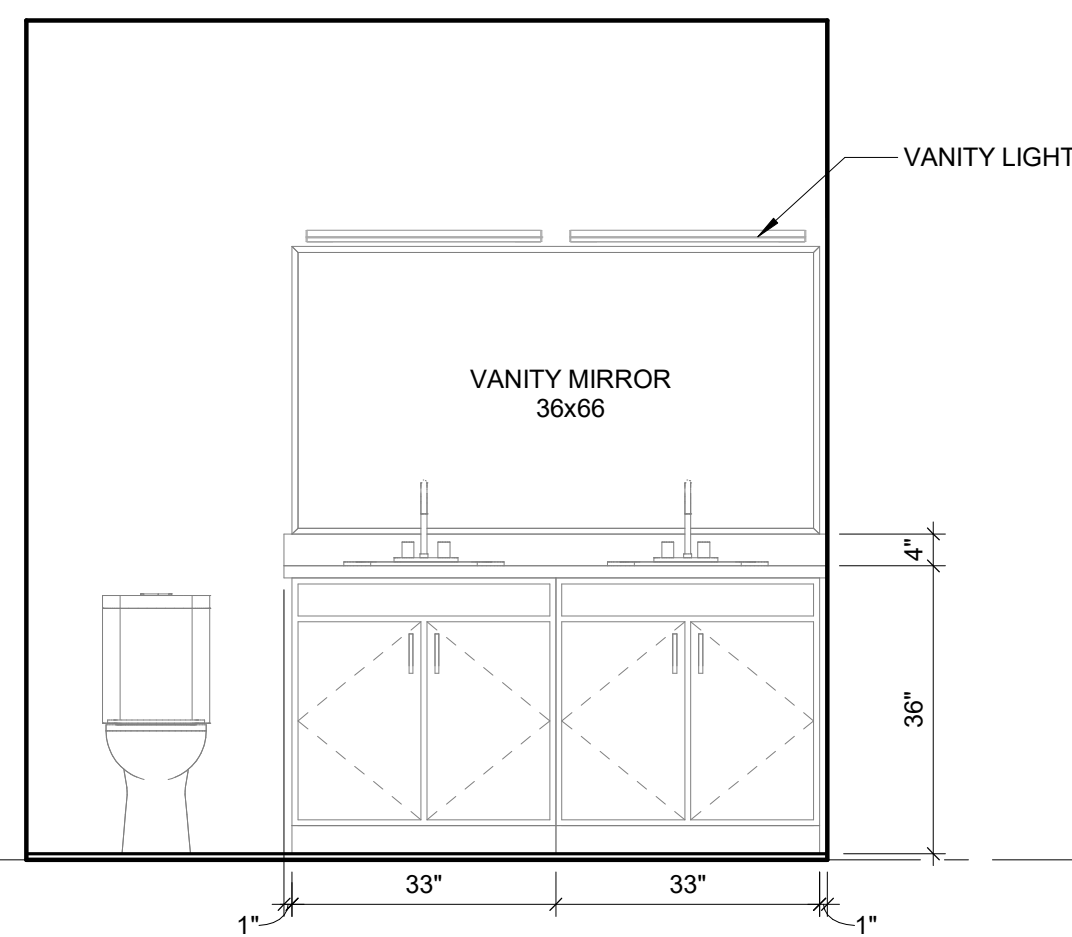
7 CARRIAGE HOUSE KITCHEN - B  
1/2" = 1'-0"



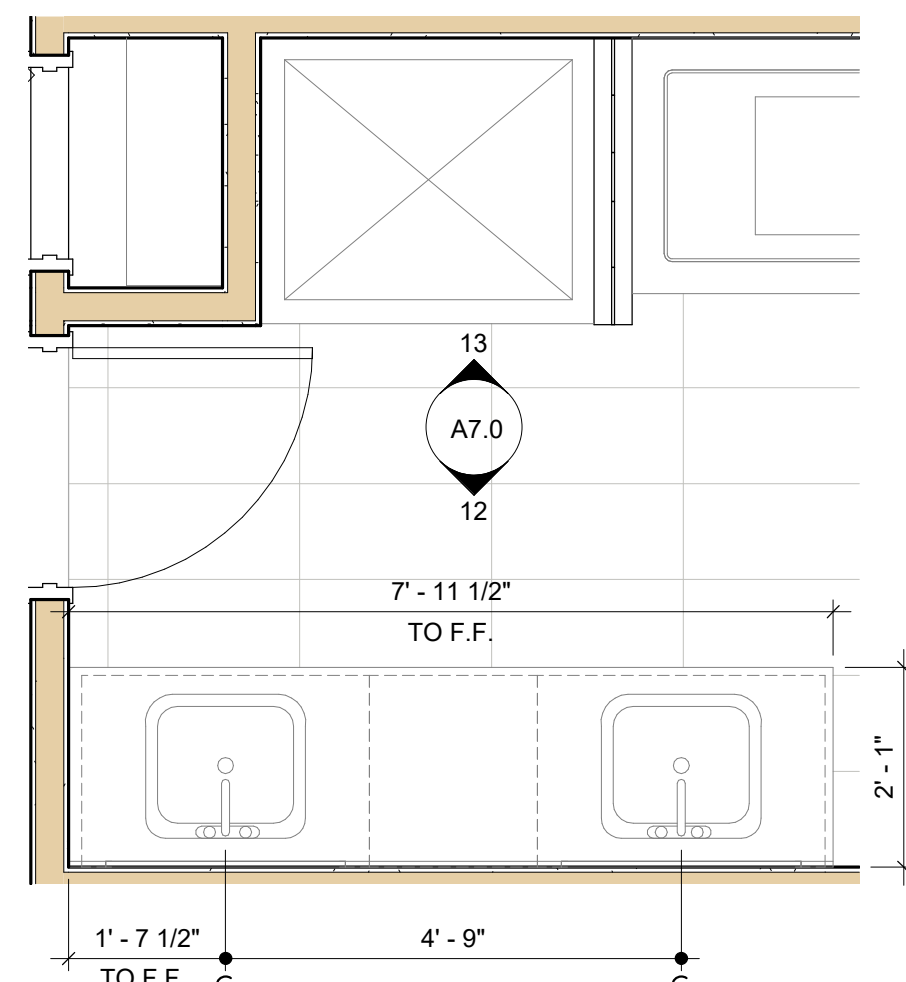
8 CARRIAGE HOUSE KITCHEN - C  
1/2" = 1'-0"



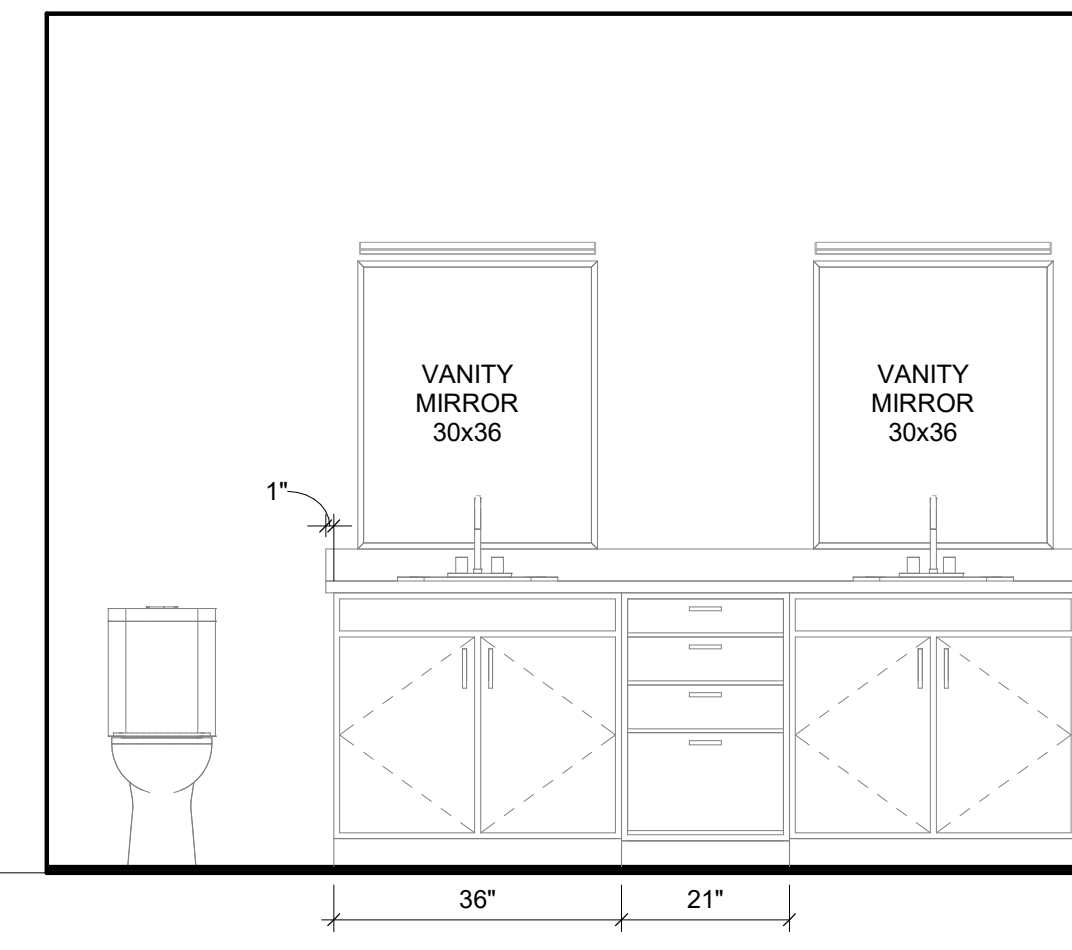
9 DOUBLE VANITY CASEWORK - A  
1/2" = 1'-0"



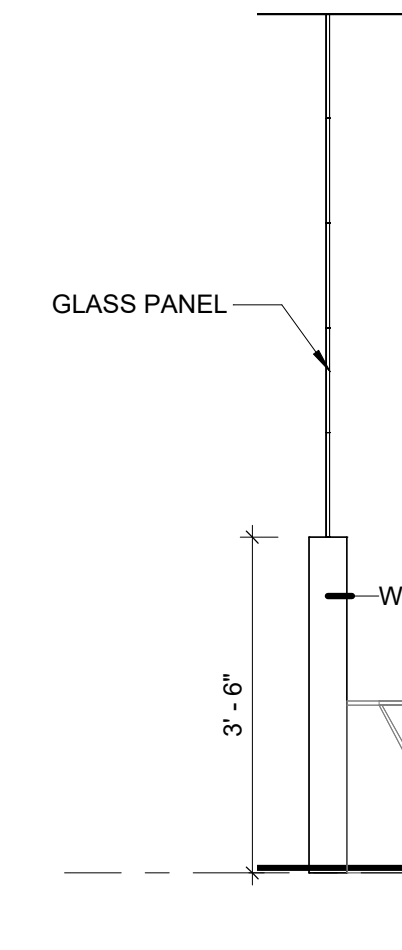
10 DOUBLE VANITY ELEVATION - A  
1/2" = 1'-0"



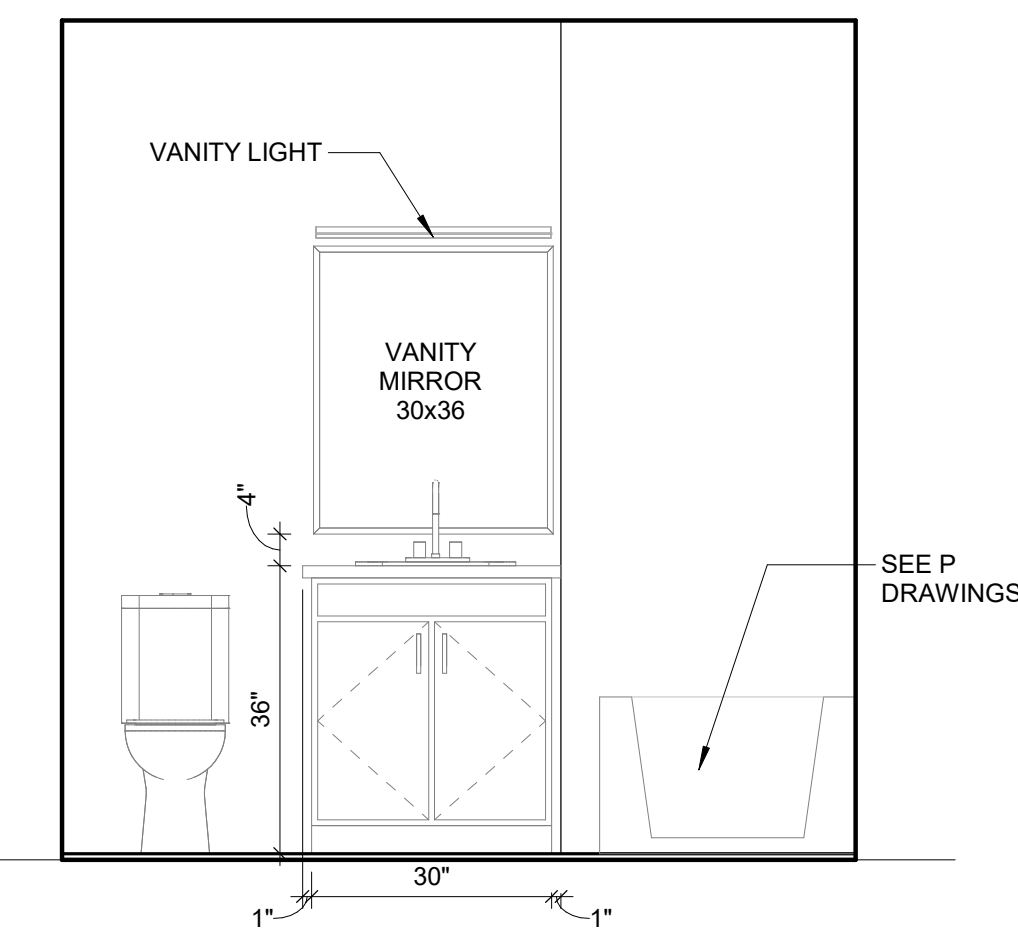
11 DOUBLE VANITY CASEWORK - B  
1/2" = 1'-0"



12 DOUBLE VANITY ELEVATION - B  
1/2" = 1'-0"



13 MASTER BATH SHOWER SEPERATION WALL  
1/2" = 1'-0"



14 SINGLE VANITY ELEVATION  
1/2" = 1'-0"

FOR CONSTRUCTION 09/11/20



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REVISIONS

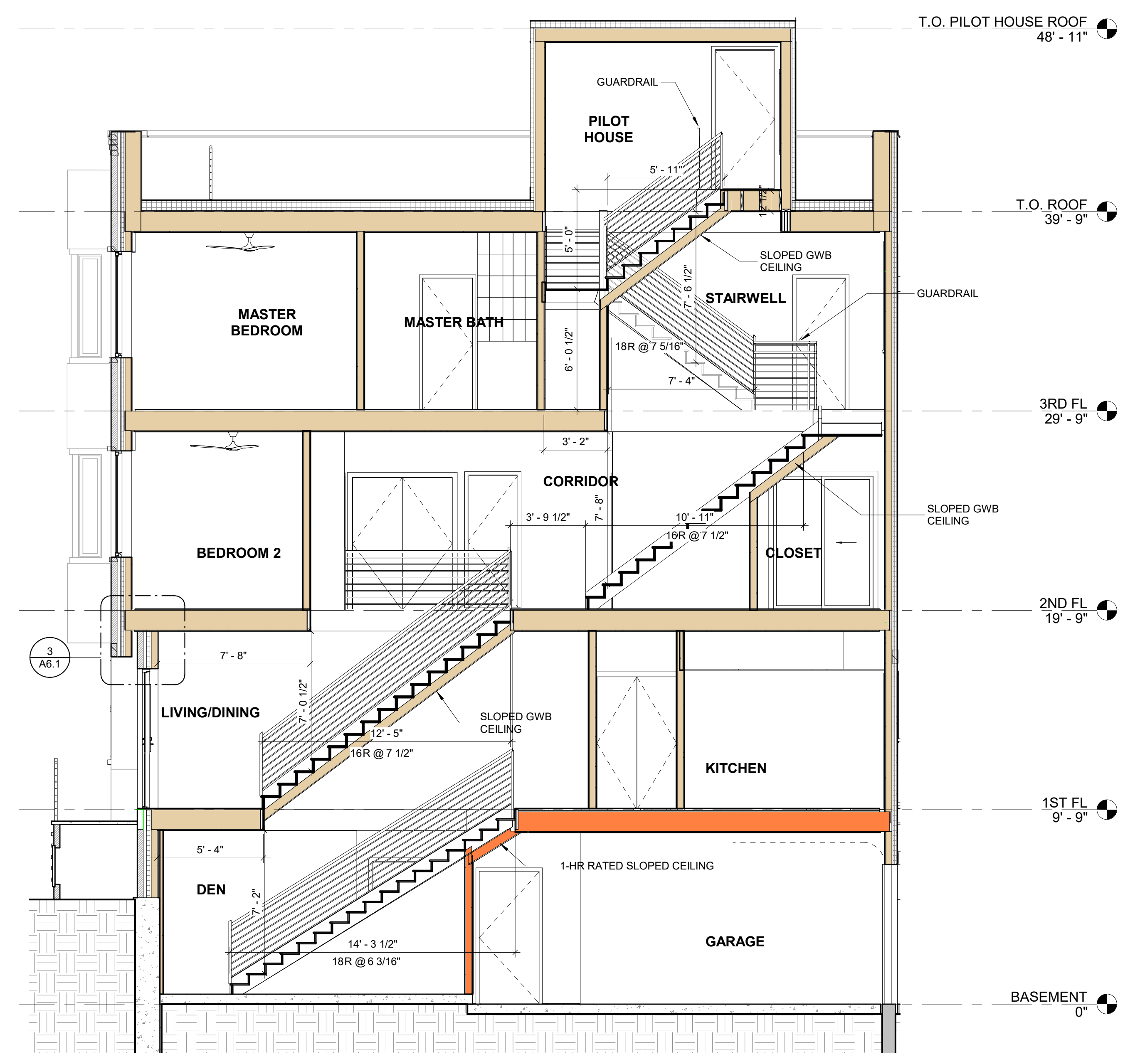
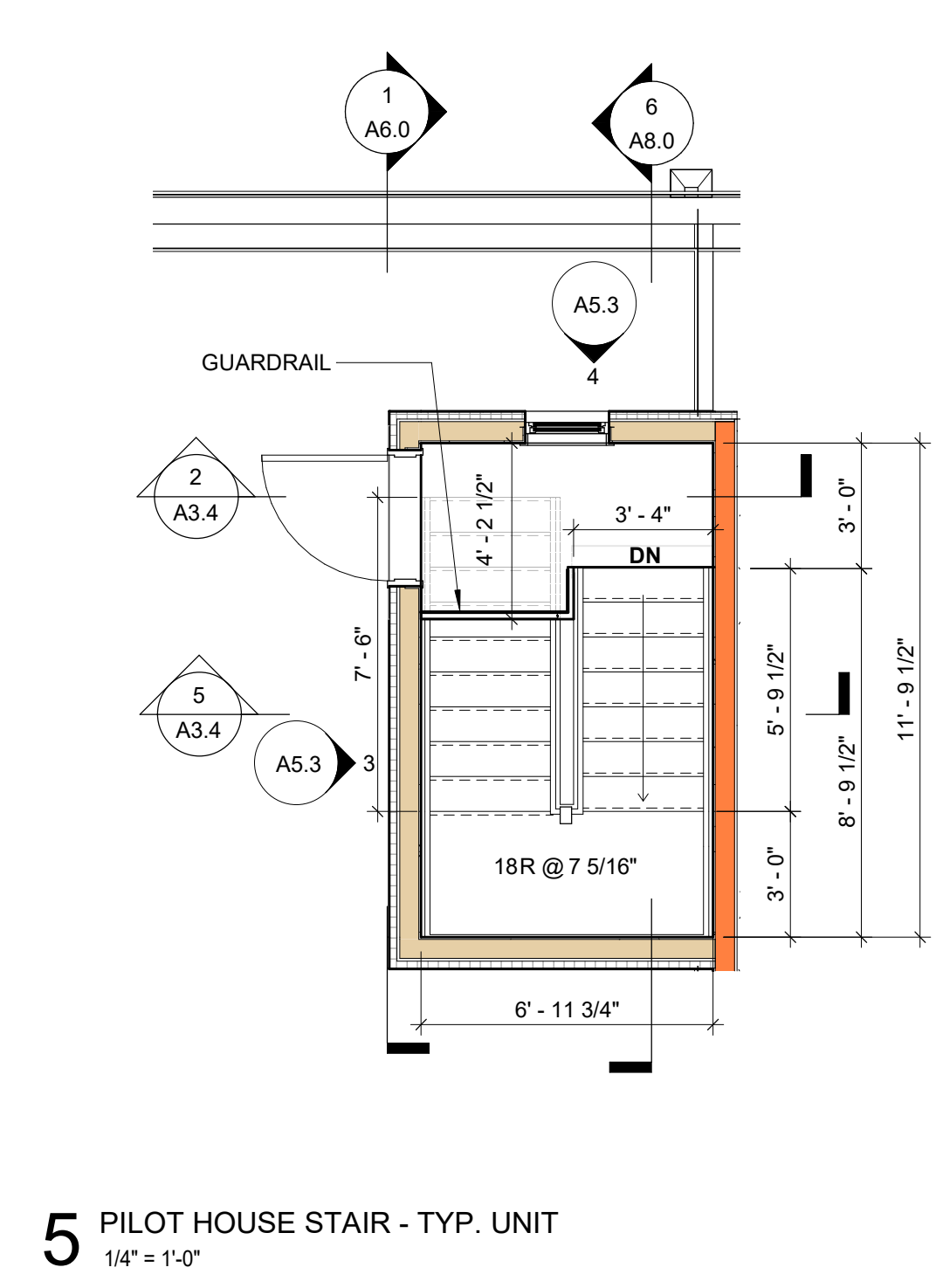
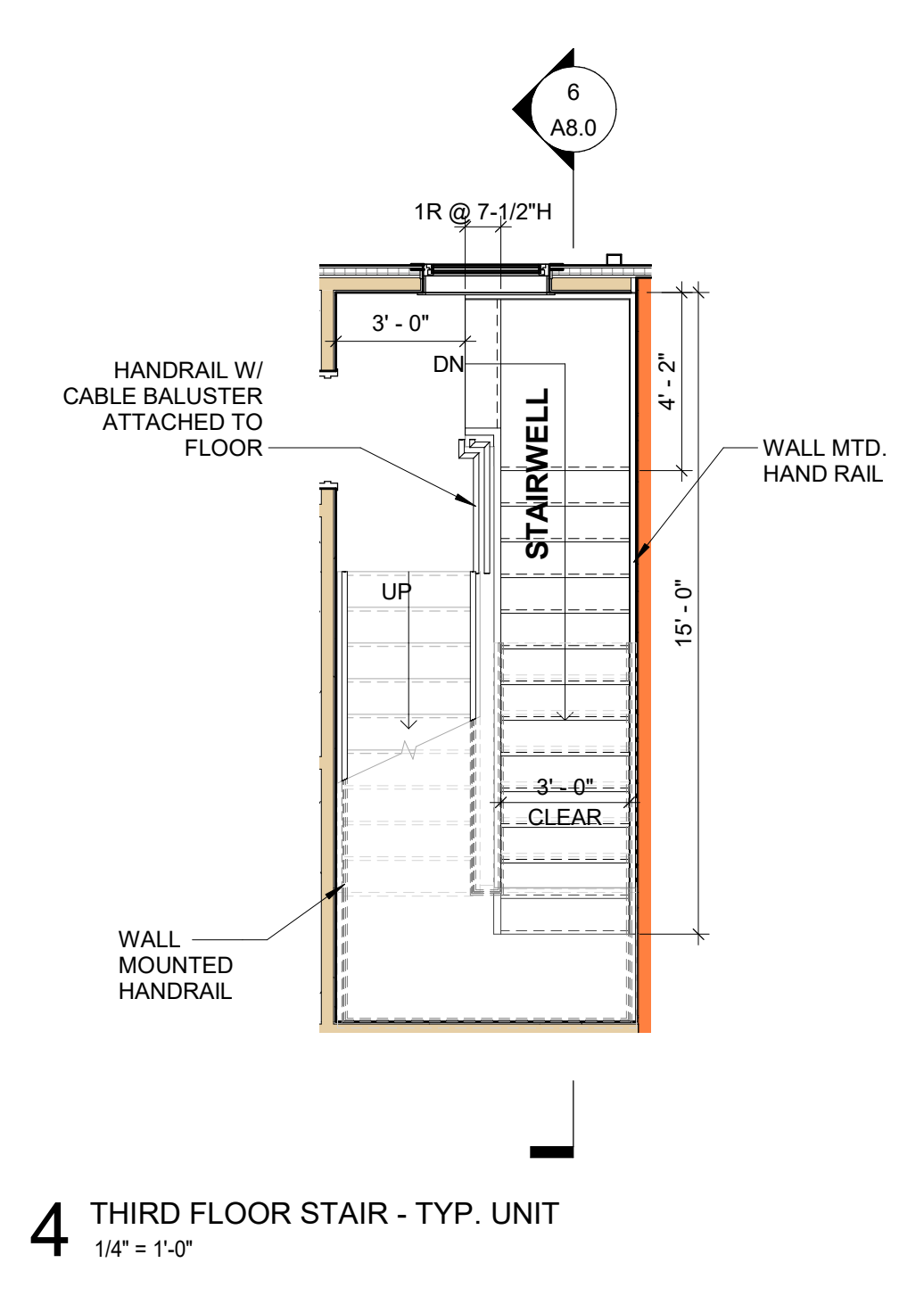
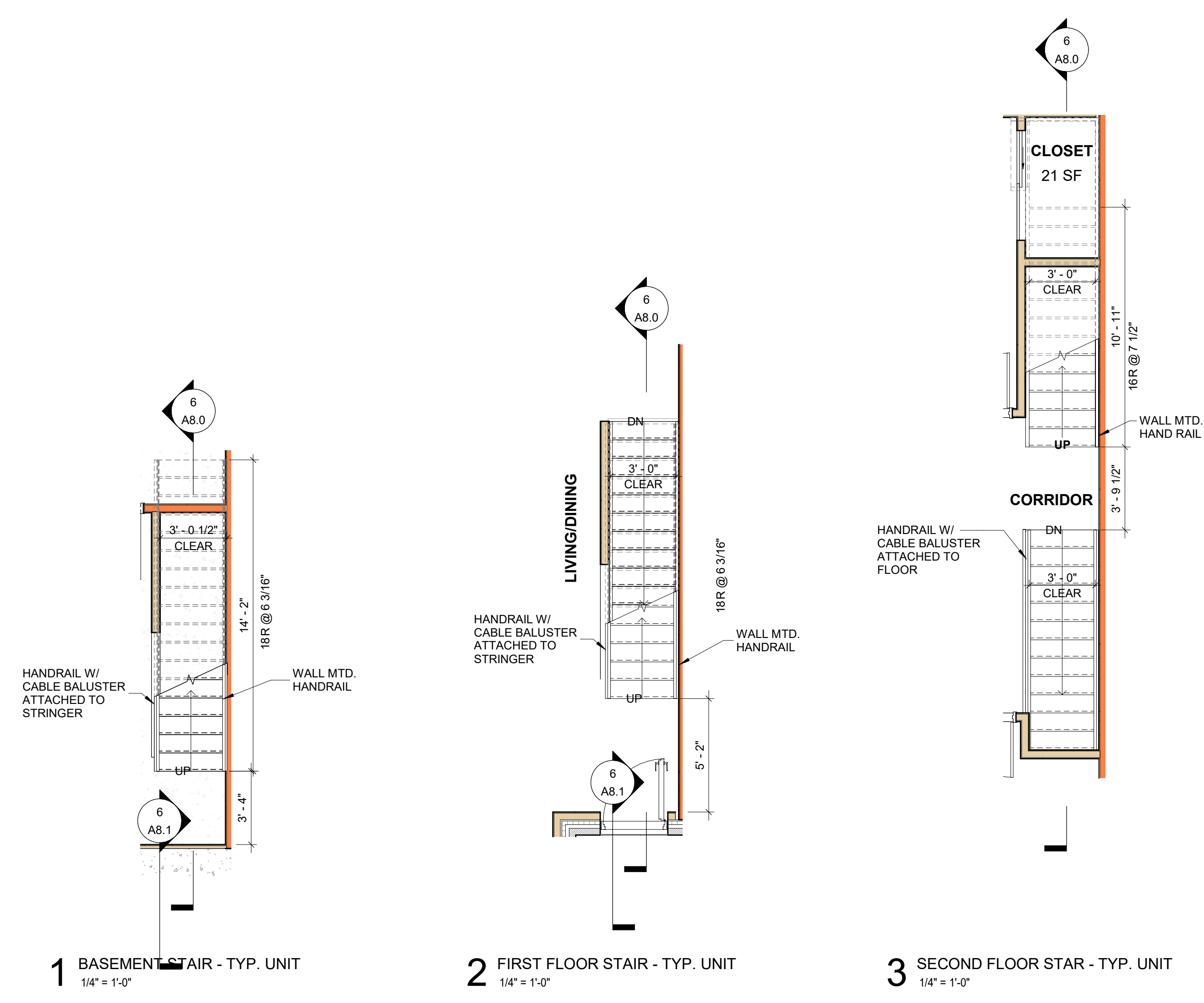
NO.	DATE	ISSUE

DRAWING TITLE  
**VERTICAL CIRCULATION - TYP. UNIT**

SCALE: 1/4" = 1'-0" DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.  
**A8.0**  
PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20



**6 STAIR SECTION - TYP. UNIT**  
1/4" = 1'-0"

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REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

VERTICAL CIRCULATION - CARRIAGE HOUSE & EXT.

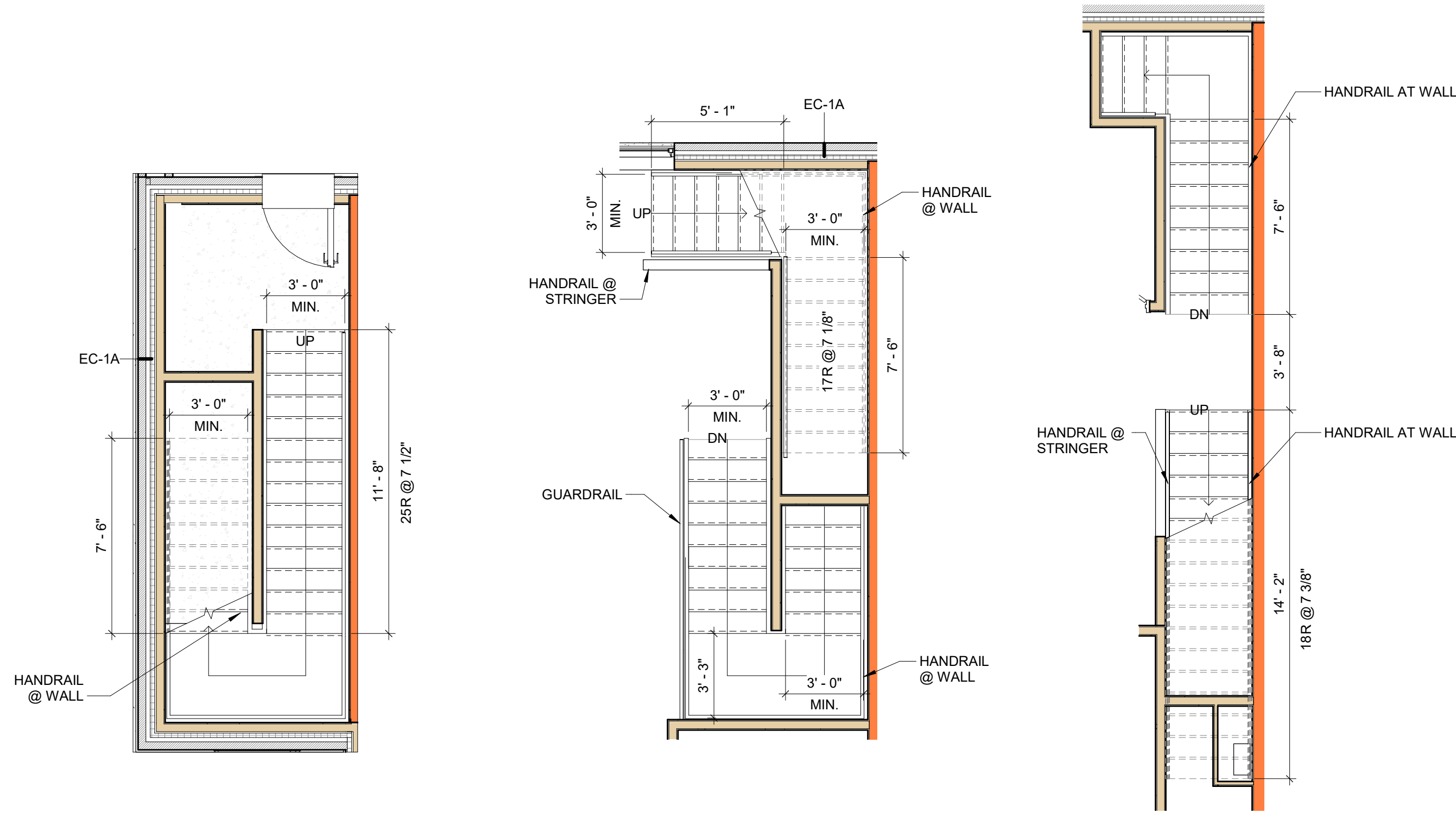
SCALE: As indicated DRAWN BY: CR  
DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

A8.1

PROJECT NO. 1915

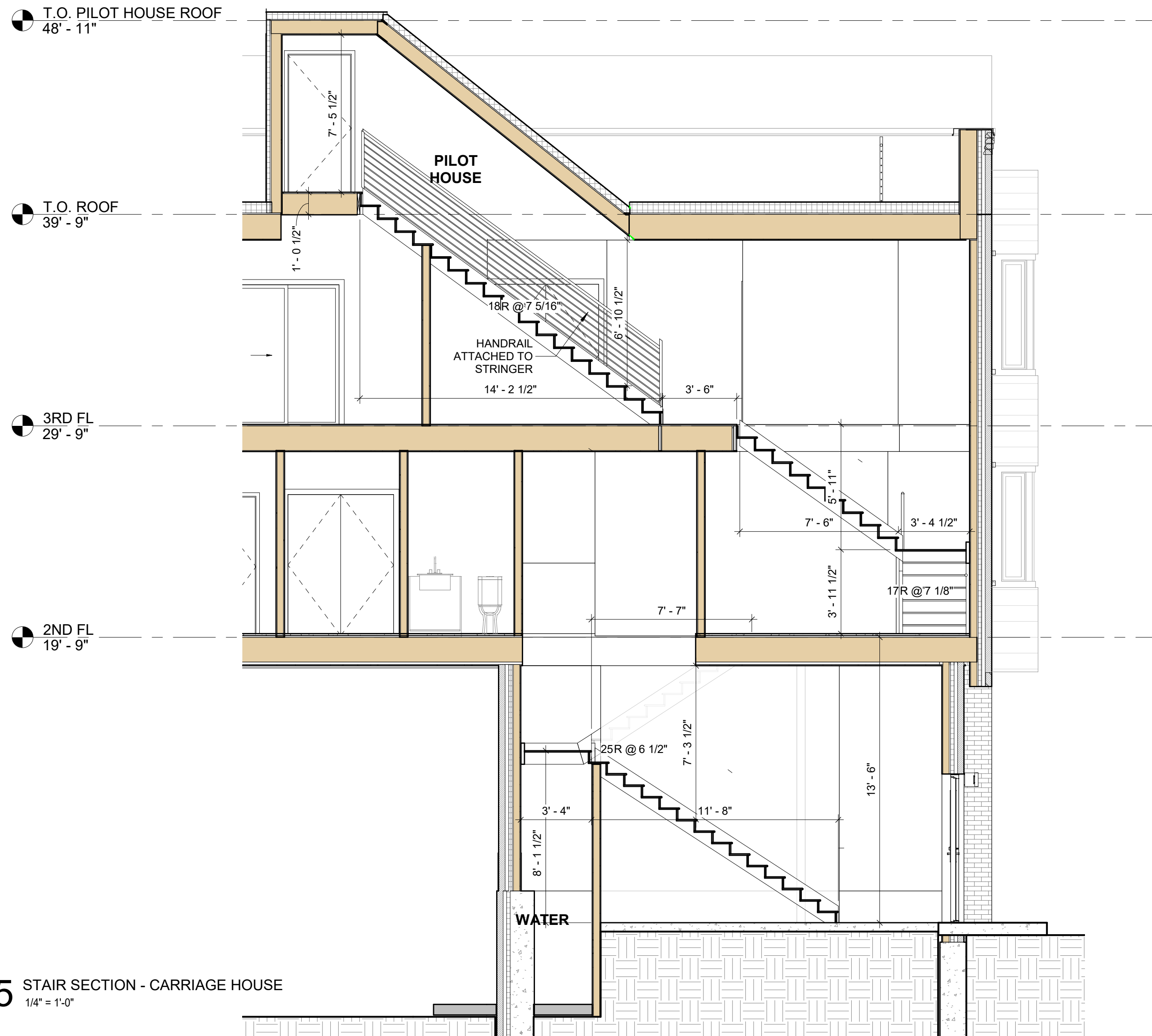
FOR CONSTRUCTION 09/11/20



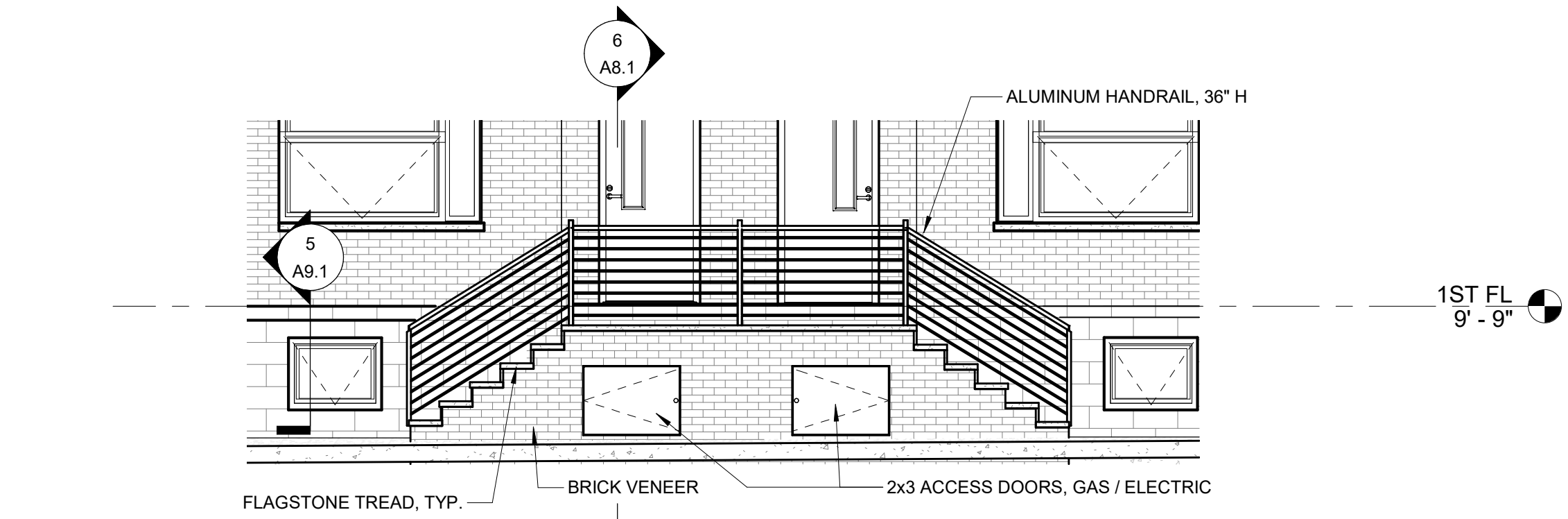
1 FIRST FLOOR STAIR - CARRIAGE HOUSE  
1/4" = 1'-0"

2 SECOND FLOOR STAIR - CARRIAGE HOUSE  
1/4" = 1'-0"

3 THIRD FLOOR STAIR - CARRIAGE HOUSE  
1/4" = 1'-0"

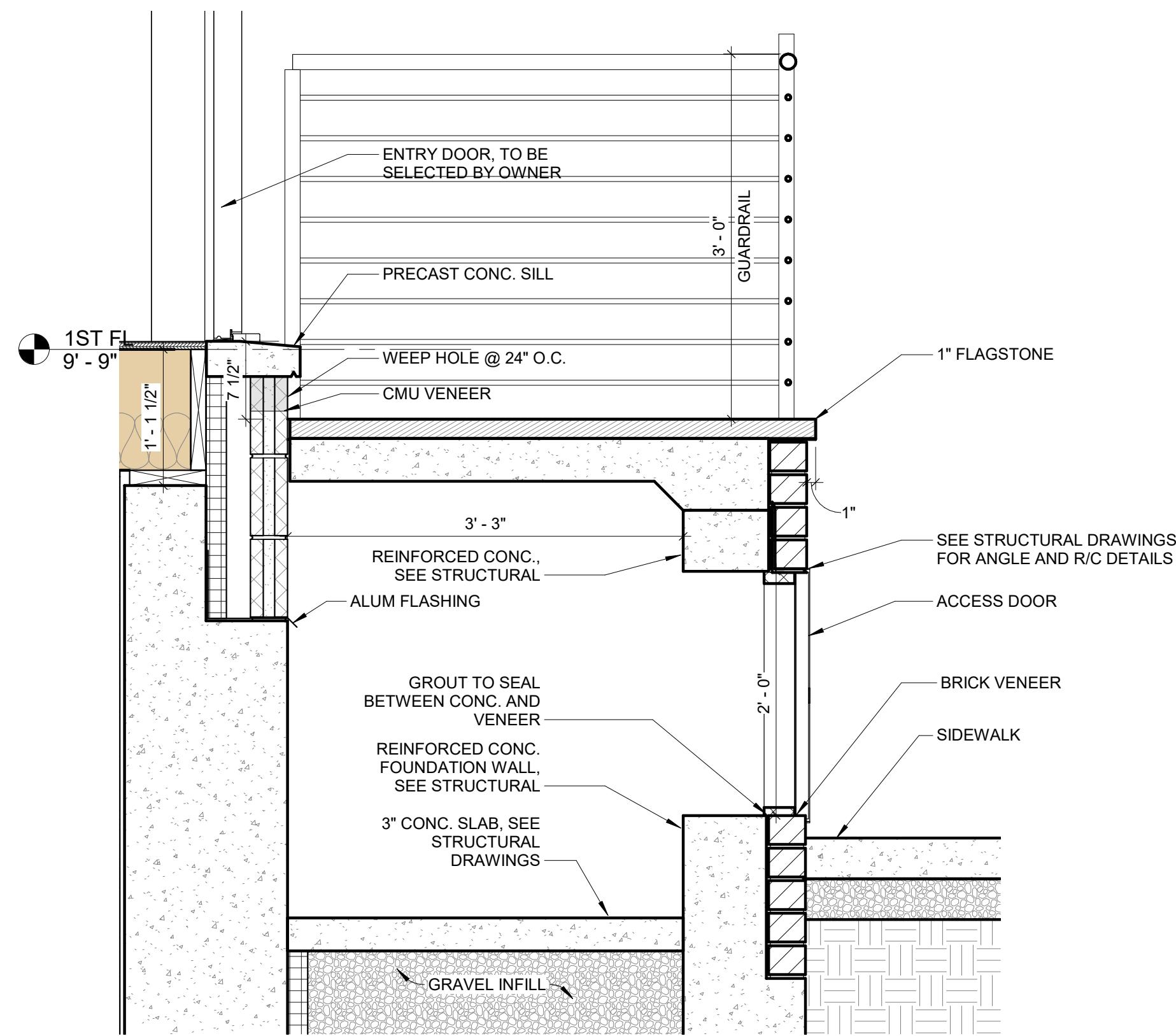


5 STAIR SECTION - CARRIAGE HOUSE  
1/4" = 1'-0"

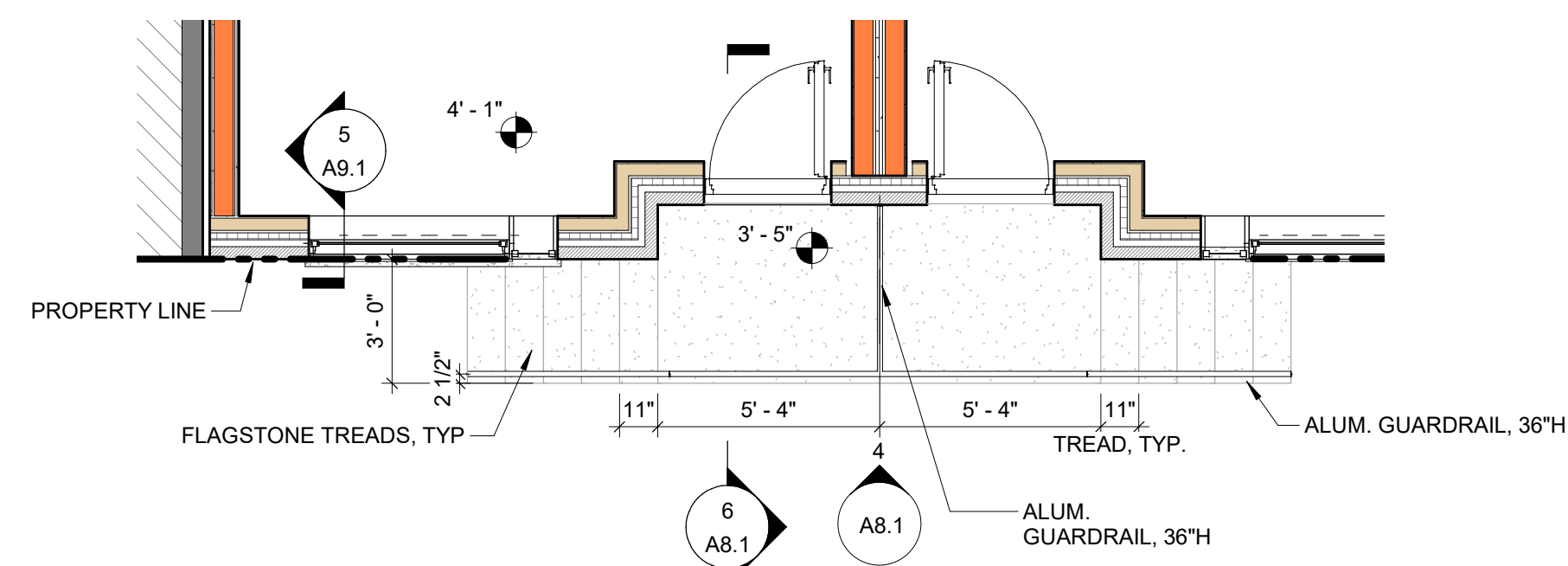


4 EXTERIOR STAIR ELEVATION  
1/4" = 1'-0"

NOTE:  
DUE TO GRADE CHANGES DOWN THE STREET, TREADS SHALL BE EQUAL IN HEIGHT FOR EACH UNIT, NO MORE THAN MAX. 7 3/4" HIGH

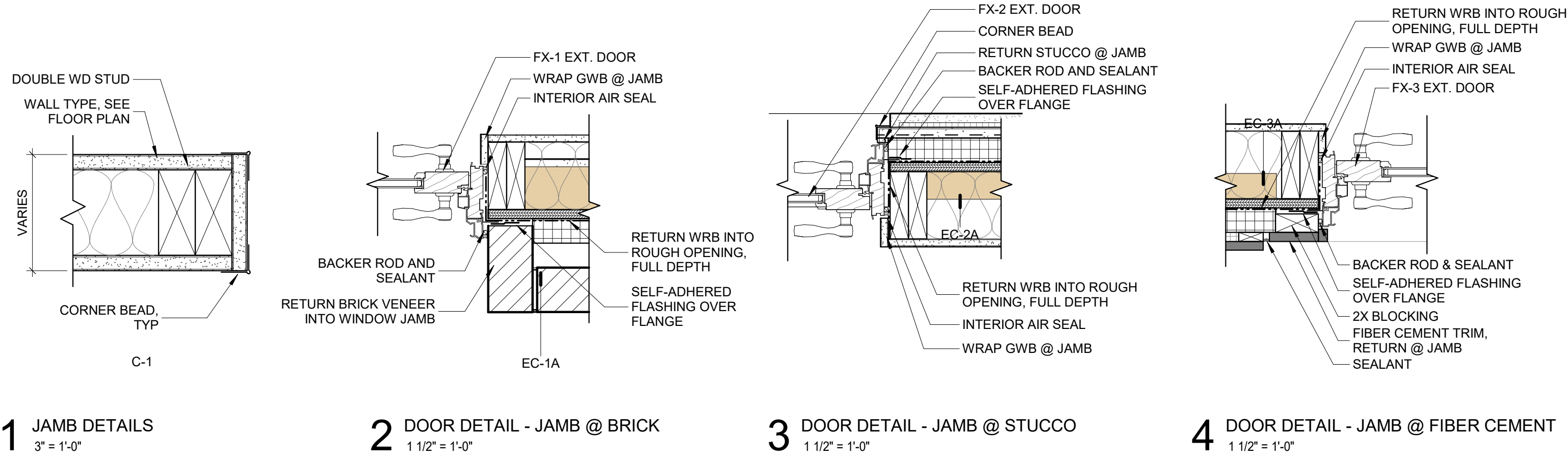


6 EXTERIOR STAIR DETAIL  
1" = 1'-0"

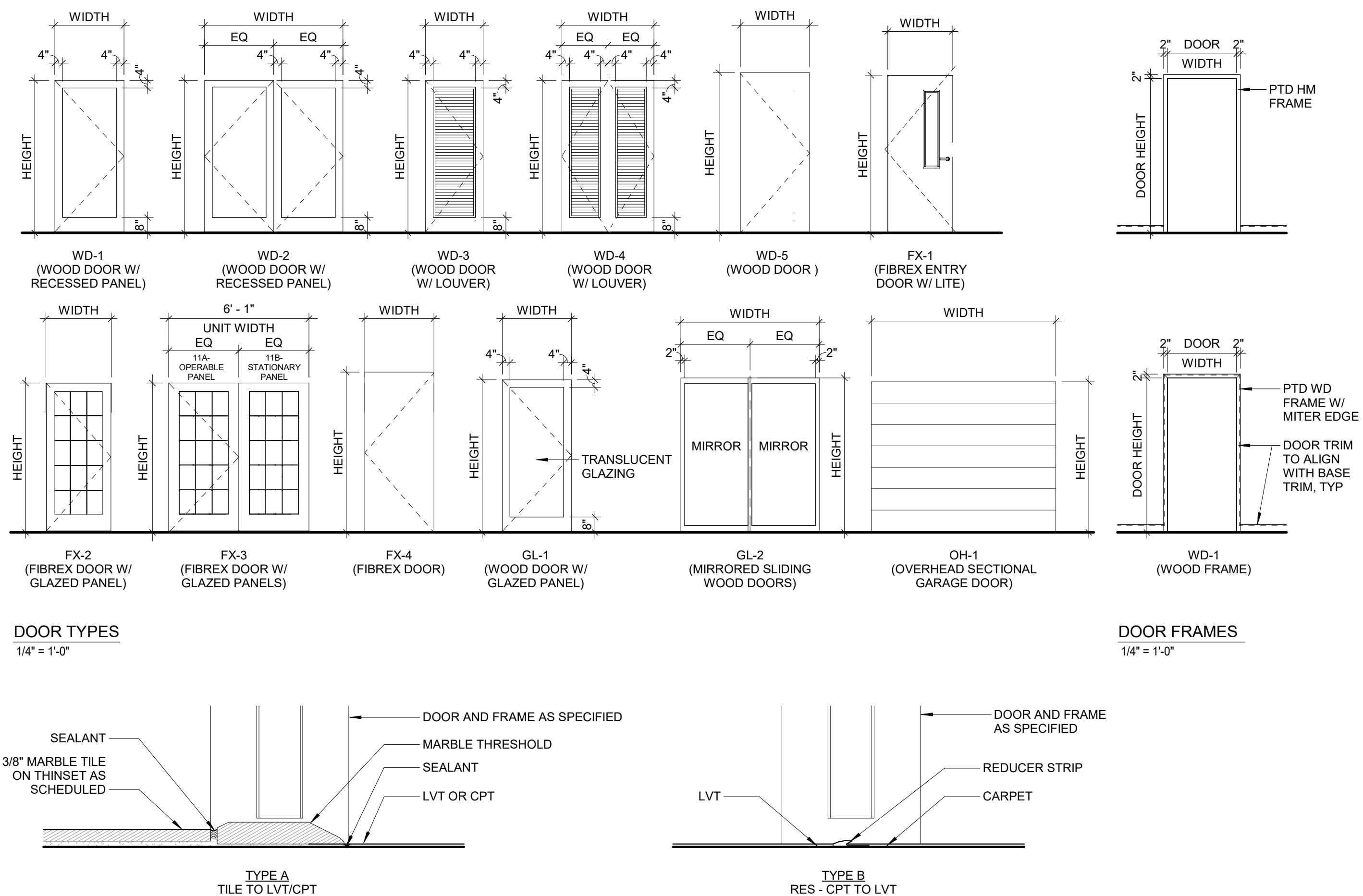


7 EXTERIOR STAIR PLAN  
1/4" = 1'-0"

DOOR NUMBER	ROOM NAME	DOOR						FRAME		REQUIREMENTS	HARDWARE SET	COMMENTS
		SIZE			TYPE	MATERIAL	FINISH	TYPE	FINISH			
		WIDTH	HEIGHT	THICKNESS								
01	GARAGE	10'-0"	7'-0"	1 1/2"	OH-1	ALUM	PTD ALUM	ALUM	PTD ALUM	---	---	
02	GARAGE	3'-0"	7'-0"	1 3/4"	WD-5	SOLID WOOD	PTD	WD-1	PTD	20 MIN	ENTRY	
03	LINEN/PANTRY CLOSET	4'-0"	6'-8"	1 3/8"	WD-2	SOLID WOOD	PTD	WD-1	PTD	---	PASSAGE	
03A	CLOSET	2'-6"	6'-8"	1 3/8"	WD-1	SOLID WOOD	PTD	WD-1	PTD	---	PASSAGE	
03B	CLOSET	2'-0"	6'-8"	1 3/8"	WD-1	SOLID WOOD	PTD	WD-1	PTD	---	PASSAGE	
04	TOILET/BATHROOM	2'-6"	6'-8"	1 3/8"	GL-1	SOLID WOOD	PTD	WD-1	PTD	---	PRIVACY	
05	BEDROOM	2'-6"	6'-8"	1 3/8"	WD-1	SOLID WOOD	PTD	WD-1	PTD	---	PRIVACY	
06	ENTRY	3'-0"	7'-0"	2 3/4"	FX-1	FIBREX	---	FIBREX	---	Unclassified	ENTRY	
07	LAUNDRY CLOSET	5'-0"	6'-8"	1 3/8"	WD-4	SOLID WOOD	PTD	WD-1	PTD	---	PASSAGE	
08	BALCONY	3'-0"	6'-8"	2 3/4"	FX-2	FIBREX	---	FIBREX	---	---	ENTRY	
09	BEDROOM CLOSET	5'-0"	6'-8"	1 3/8"	GL-2	MIRROR	---	WD-1	PTD	---	PASSAGE	
10	PILOT HOUSE	3'-0"	7'-0"	1 3/4"	FX-1	FIBREX	---	FIBREX	---	---	ENTRY	
11A	BALCONY	3'-0 1/2"	6'-8"	2 3/4"	FX-3	FIBREX	---	FIBREX	---	---	ENTRY	
11B	BALCONY	3'-0 1/2"	6'-8"	2'-0 3/4"	FX-3	FIBREX	---	FIBREX	---	---	ENTRY	
12	MECHANICAL CLOSET	3'-0"	6'-8"	1 3/8"	WD-3	SOLID WOOD	PTD	WD-1	PTD	---	PASSAGE	
13	WATER SERVICE	3'-0"	7'-0"	1 3/4"	FX-4	HM	PTD	HM-1	PTD	---	STORAGE	
15	BEDROOM	2'-6"	6'-8"	1 3/8"	WD-1	SOLID WOOD	PTD	WD-1	PTD	---	PRIVACY	



1 JAMB DETAILS 3\" = 1'-0\"  
 2 DOOR DETAIL - JAMB @ BRICK 1 1/2\" = 1'-0\"  
 3 DOOR DETAIL - JAMB @ STUCCO 1 1/2\" = 1'-0\"  
 4 DOOR DETAIL - JAMB @ FIBER CEMENT 1 1/2\" = 1'-0\"

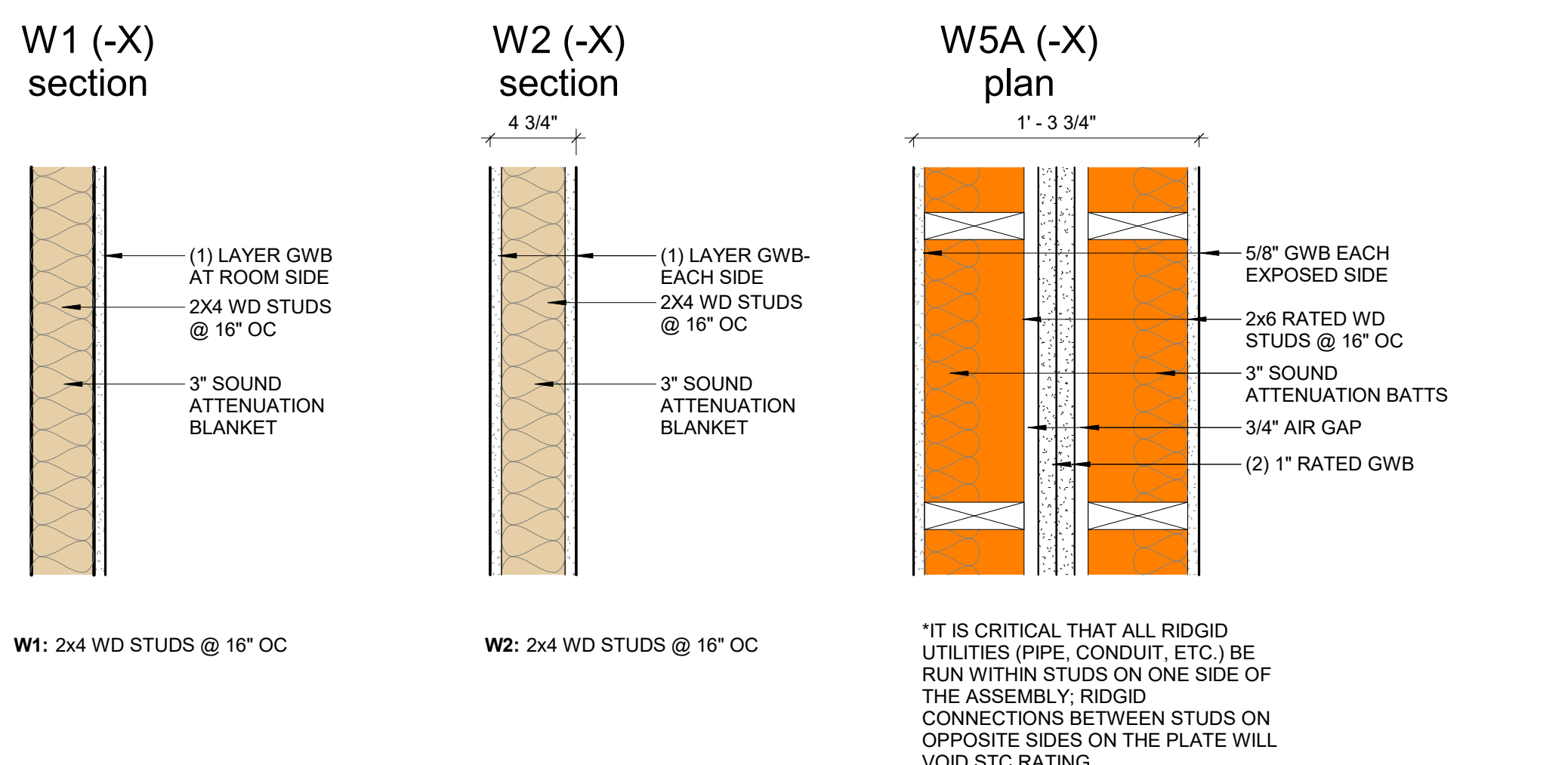


DOOR TYPES 1/4\" = 1'-0\"  
 FLOOR TRANSITION THRESHOLD DETAILS 3\" = 1'-0\"

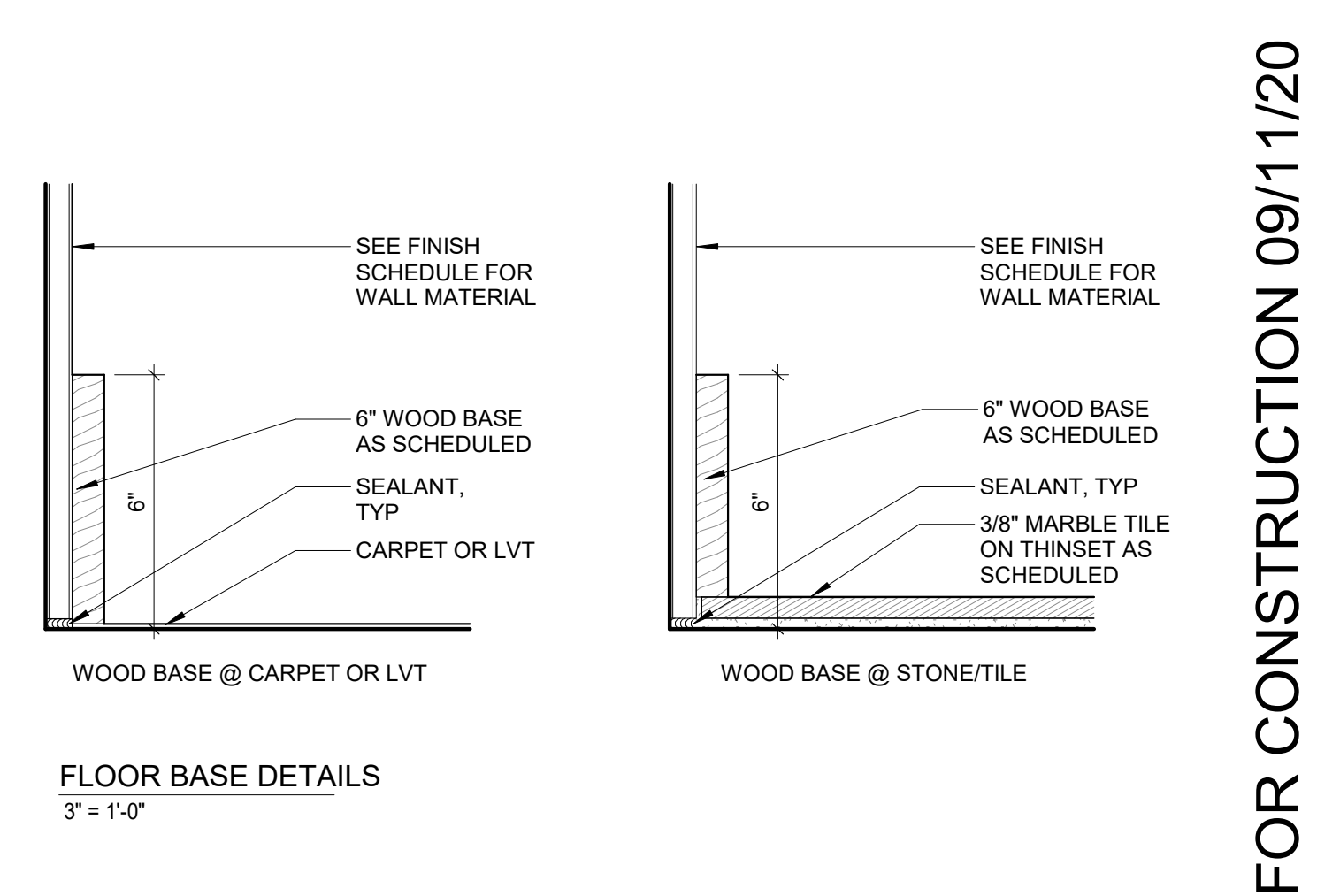
EXTERIOR WALL TYPES							
EC-1A	EC-1B	EC-2A	EC-2B	EC-2C	EC-3A	EC-3B	EC-4
FIRE RATING: N/A UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: N/A UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: N/A UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: N/A UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: 2-HR UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: N/A UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: N/A UL CLASSIFICATION: N/A STC RATING: N/A	FIRE RATING: 2-HR UL CLASSIFICATION: N/A STC RATING: N/A
1'-0 1/2\"	REFER TO STRUCTURAL DRAWINGS	REFER TO STRUCTURAL DRAWINGS	REFER TO STRUCTURAL DRAWINGS	9\"	7 1/2\"	8\"	26\"
BRICK OR FINISH CMU (SEE ELEVATION) INSTALLED PER MFR INSTRUCTIONS MASONRY ANCHOR TIE @ STUDS 2\" AIR SPACE R-5 RIGID INSULATION* WATER RESISTIVE BARRIER 1/2\" PLYWOOD SHEATHING 2x4 AT 16\" O.C.* MIN. R-13 BATT INSULATION* 5/8\" GWB	MASONRY ANCHOR TIE 2\" AIR SPACE 2\" RIGID INSULATION WATER RESISTIVE BARRIER REINFORCED CONCRETE WALL. REFER TO STRUCTURAL DRAWINGS	STUCCO FINISH (FINISH COAT) STUCCO FINISH (BASE COAT) METAL LATH (1/4\" OFFSET) R-5 RIGID INSULATION* WATER RESISTIVE BARRIER 1/2\" PLYWOOD SHEATHING 2x4 AT 16\" O.C.* MIN. R-13 BATT INSULATION* 5/8\" GWB	STUCCO FINISH (FINISH COAT) STUCCO FINISH (BASE COAT) METAL LATH (1/4\" OFFSET) 2\" RIGID INSULATION WATER RESISTIVE BARRIER REINFORCED CONCRETE WALL. REFER TO STRUCTURAL DRAWINGS	STUCCO FINISH (FINISH COAT) STUCCO FINISH (BASE COAT) METAL LATH (1/4\" OFFSET) R-5 RIGID INSULATION* WATER RESISTIVE BARRIER 2x4 WD STUD @ 16\" O.C.* MIN. R-13 BATT INSULATION* 1/2\" METAL LATH (2) LAYER GWB-TYPE 'X' EACH SIDE	FIBER CEMENT PANEL SIDING INSTALLED PER MFR INSTRUCTIONS (B.O.D. - HARDIE LOCK JOINT SQUARE CHANNEL, COLOR BY ARCH) 1/2\" WOOD FURRING R-5 RIGID INSULATION* WATER RESISTIVE BARRIER 1/2\" PLYWOOD SHEATHING 2x4 WD STUD @ 16\" O.C.* MIN. R-13 BATT INSULATION* 5/8\" GWB	FIBER CEMENT HORIZONTAL SIDING INSTALLED PER MFR INSTRUCTIONS (B.O.D. - HARDIE PLANK HORIZONTAL SIDING, COLOR BY ARCH) 1 1/4\" MIN. OVERLAP R-5 RIGID INSULATION* WATER RESISTIVE BARRIER 1/2\" PLYWOOD SHEATHING 2x4 WD STUD @ 16\" O.C.* MIN. R-13 BATT INSULATION* 5/8\" GWB	2x6 WD STUD @ 16\" O.C.* MIN. R-20 BATT INSULATION 1/2\" METAL LATH (2) LAYER GWB-TYPE 'X' EACH SIDE
ALTERNATE DETAIL *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, <del>DELETE</del> RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS		ALTERNATE DETAIL *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, <del>DELETE</del> RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS		ALTERNATE DETAIL *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, <del>DELETE</del> RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS	ALTERNATE DETAIL *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, <del>DELETE</del> RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS	ALTERNATE DETAIL *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, <del>DELETE</del> RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS	ALTERNATE DETAIL *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, <del>DELETE</del> RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS

INTERIOR PARTITION SCHEDULE					
TYPE	WIDTH	STC	FIRE RATING	UL NUMBER	COMMENTS
W1	2 1/8\"				
W2	4 3/4\"	38 STC W/ SOUND BATTS			
W2-X	4 3/4\"	38 STC W/ SOUND BATTS	1-HR	UL U308	
W5A-X	1\" - 3 3/4\"	48 STC W/ SOUND BATTS	2-HR	UL U336	

- PARTITION TYPE NOTES:**
- SEE SPEC SECTION 09 2118, 09 2216 AND 09 2900 FOR INFORMATION ON GYPSUM WALL ASSEMBLIES
  - SEE SPEC SECTION 04 2000 FOR INFORMATION ON CONCRETE MASONRY UNIT ASSEMBLIES
  - SEE SPEC SECTIONS 07 8413 AND 07 8446 FOR INFORMATION ON UL DESIGNS FOR FIRE RATED PARTITIONS, JOINT SYSTEMS, AND THROUGH PENETRATION FIRESTOPPING
  - PROVIDE TYPE 'X' GWB WHERE REQ'D FOR FIRE RATING (DENOTED BY G\_-X)
  - SEE SHEET G0.3 FOR LOCATION OF FIRE RATED PARTITIONS
  - SEE JOINT DETAILS, THIS SHEET, REQUIRED TO ACHIEVE FIRE RATINGS INDICATED ON PARTITION SCHEDULE
  - ALL PARTITIONS MUST FIT TIGHT TO STRUCTURAL SLAB, DECK, OR PLANK, UON
  - GWB IS 5/8\" UON
  - ALL TYPE 'X' GWB AT FIRE RATED PARTITIONS SHALL EXTEND TO UNDERSIDE OF DECK (METAL, CONCRETE, PLYWOOD, ETC.) UON
  - PROVIDE IMPACT RESISTANT GWB WHERE EXPOSED UNLESS NOTED OTHERWISE
  - WHERE 2 LAYERS GWB INDICATED, PROVIDE IMPACT RESISTANT GWB AT OUTER LAYER ONLY
  - WHERE FINISH SCHEDULE CALLS FOR A RECESSED BASE AT A RATED PARTITION, PROVIDE ADDITIONAL LAYER OF GWB
  - PROVIDE MOISTURE AND MOLD RESISTANT GWB AT ALL BELOW GRADE LOCATIONS, BATHROOM



W1: 2x4 WD STUDS @ 16\" OC  
 W2: 2x4 WD STUDS @ 16\" OC

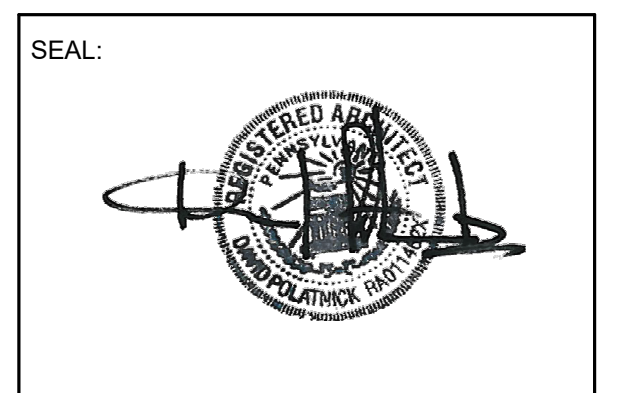


FLOOR BASE DETAILS 3\" = 1'-0\"

**P Z S ARCHITECTS**  
 4593 MITCHELL ST., PHILADELPHIA, PA 19128  
 215-483-1915 FAX 215-930-0484  
 PROJECT NAME: SALMON STREET TOWNHOUSES  
 2656-70 SALMON ST PHILADELPHIA, PA 19125  
 PROJECT TEAM: OWNER: KIDDNA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234  
 STRUCTURAL: JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-0050  
 SYSTEMS: BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318  
 CIVIL ENGINEER: MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

**CONTRACTOR ACKNOWLEDGEMENT:**  
 By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that:  
 (a) it has thoroughly reviewed all of the project drawings, specifications and existing conditions to obtain the information necessary for performance of its work scope;  
 (b) it has verified that the information used is accurate and complete;  
 (c) it will report any inaccurate or incomplete information to the project architect immediately upon becoming aware of the error or omission; and  
 (d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information used.

Note:  
 All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to finalizing their bids.



REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE: **SCHEDULES**  
 SCALE: As indicated DRAWN BY: CR  
 DATE: 09/11/20 CHECKED BY: DP  
 SHEET NO. **A9.0**  
 PROJECT NO. 1915

FOR CONSTRUCTION 09/11/20

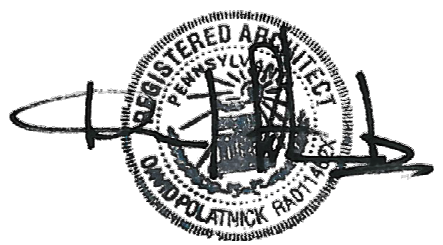
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SEAL:



REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

WINDOW ELEVATIONS & DETAILS

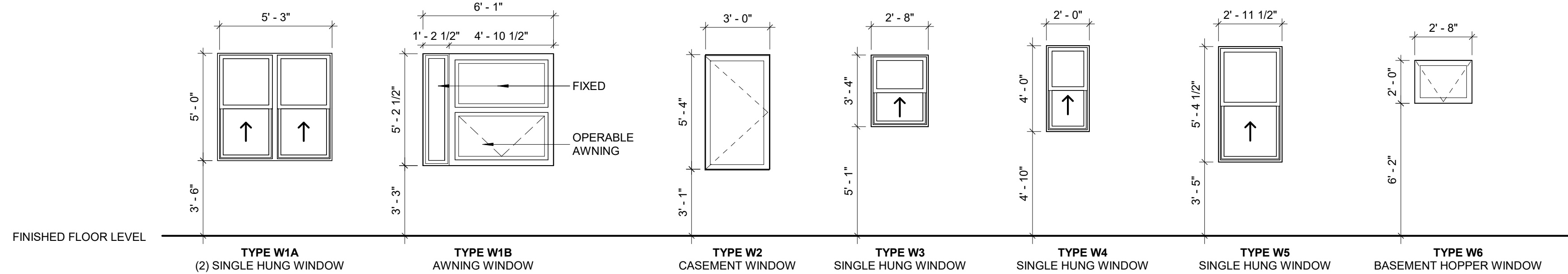
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DATE: 09/11/20 CHECKED BY: DP

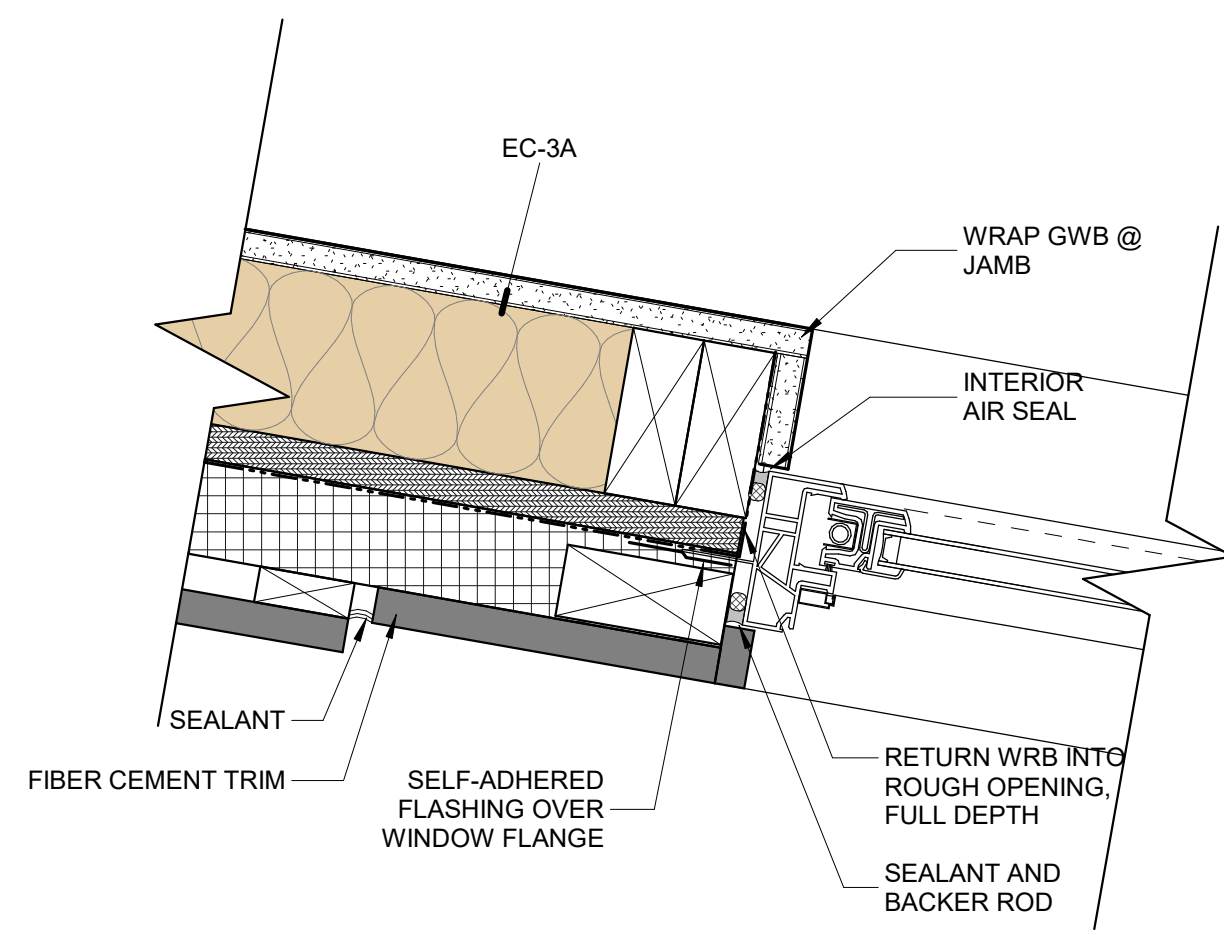
SHEET NO.

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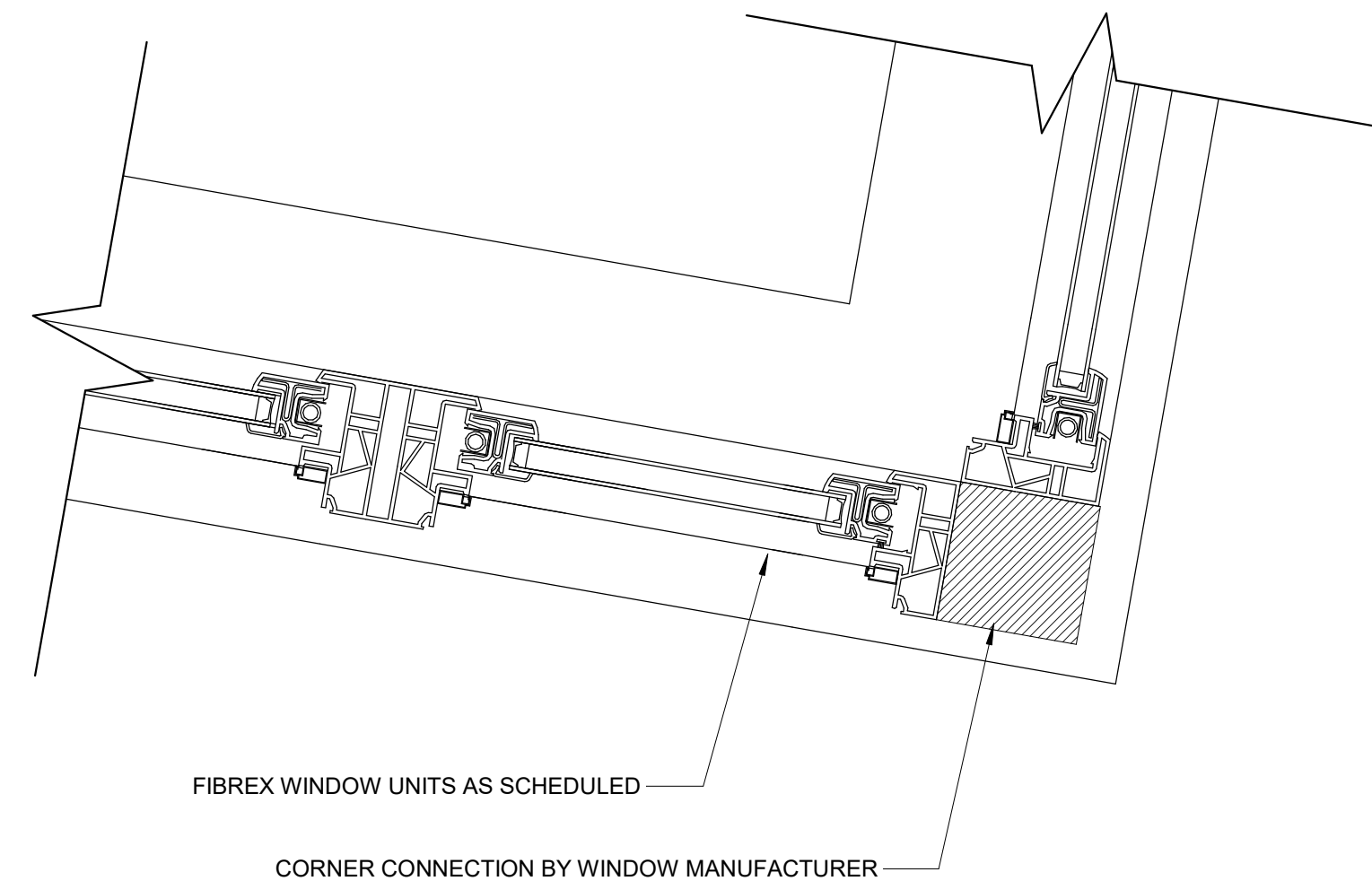
PROJECT NO. 1915



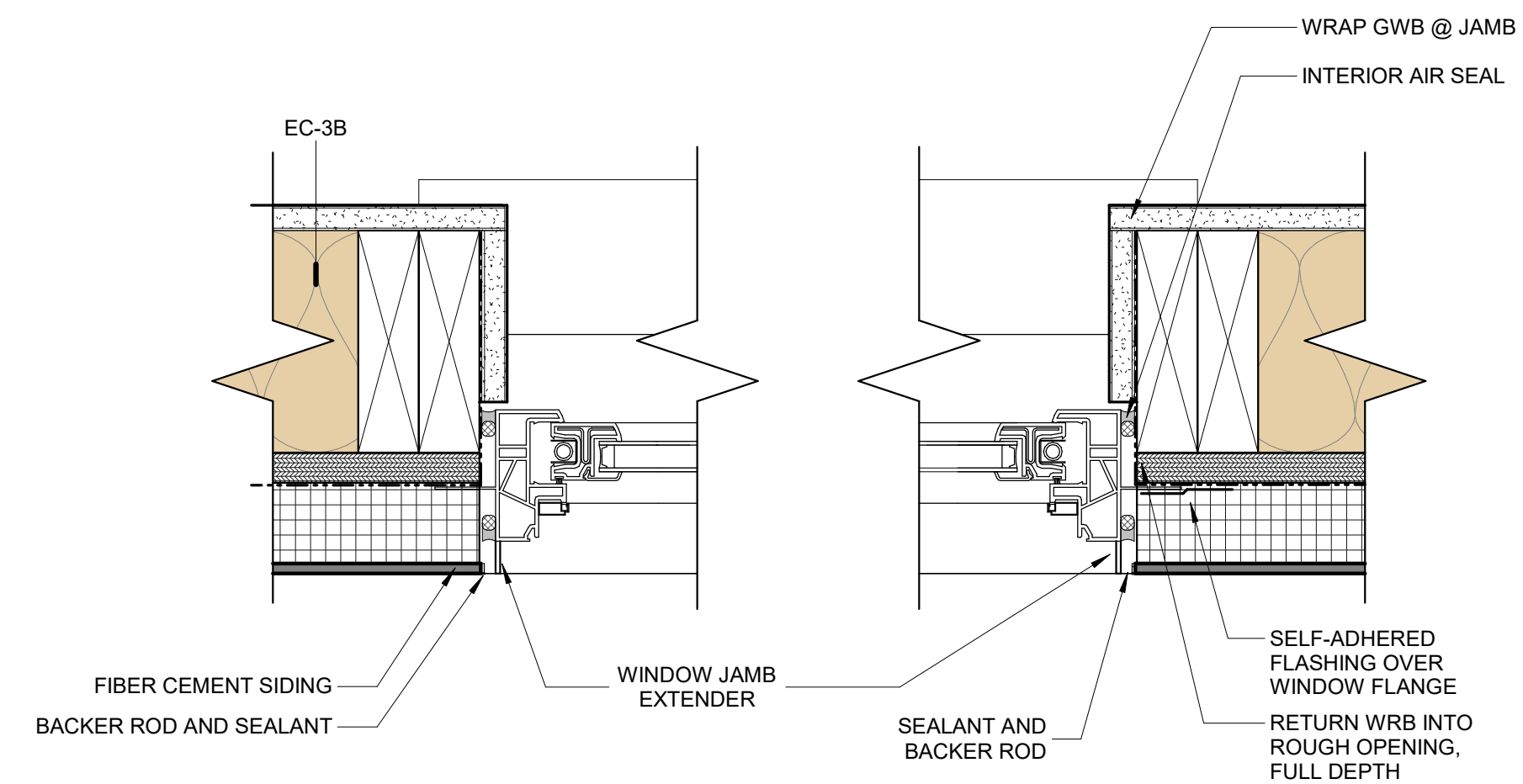
WINDOW TYPES  
1/4" = 1'-0"



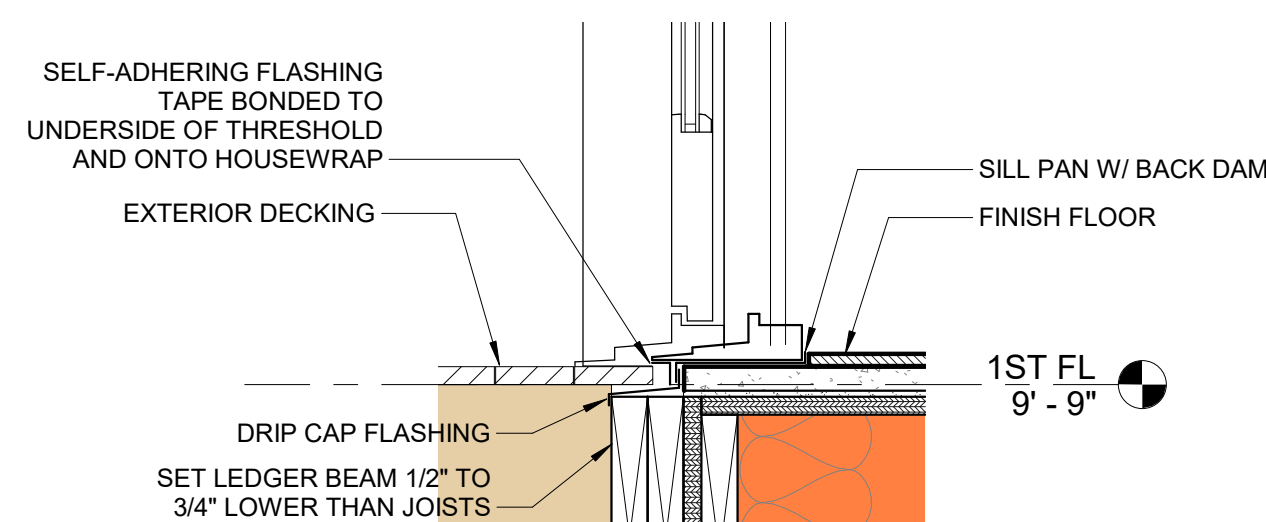
1 WINDOW DETAIL - JAMB @ BAY WINDOW  
3" = 1'-0"



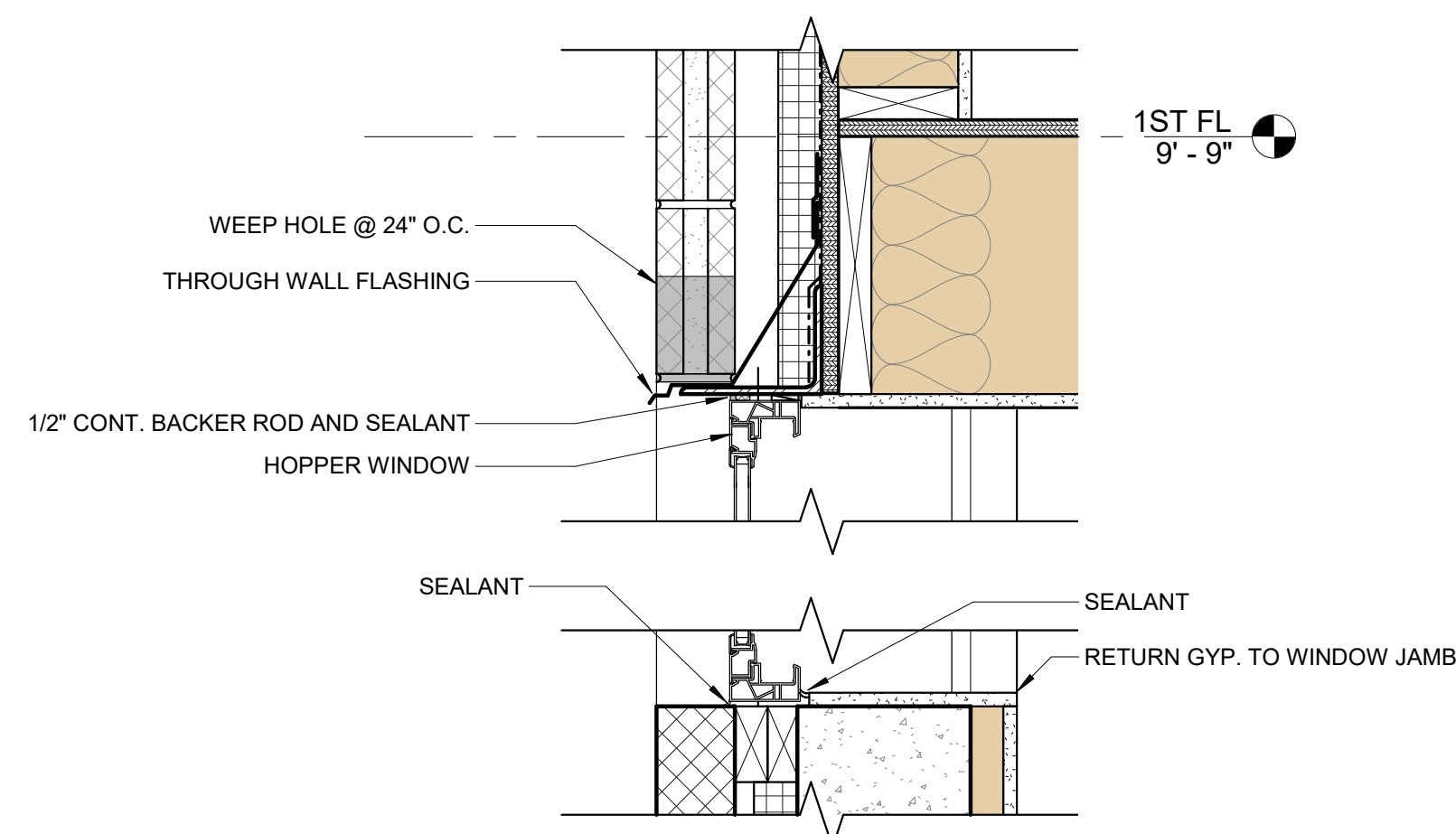
2 WINDOW DETAIL - INTERSECTION @ BAY WINDOW  
3" = 1'-0"



3 ROOF DETAIL - WINDOW @ PILOT HOUSE  
3" = 1'-0"



4 DOOR SILL @ DECK  
1 1/2" = 1'-0"



5 WINDOW DETAIL - BASEMENT HOPPER  
1 1/2" = 1'-0"

FOR CONSTRUCTION 09/11/20

PROJECT NAME

SALMON STREET TOWNHOUSES  
2656-70 SALMON ST  
PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER  
KIDDNA, LLC  
1516 N 5TH ST, STE 212  
PHILADELPHIA, PA 19122  
267-516-2234

STRUCTURAL  
JOSEPH BARBATO ASSOCIATES  
6 DICKINSON DRIVE, #103  
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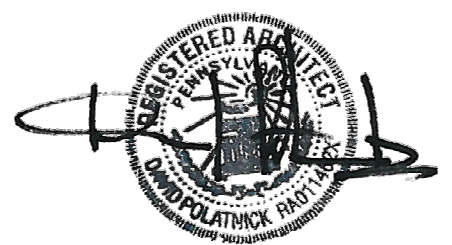
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SEAL:



REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE

WINDOW DETAILS

SCALE: 3" = 1'-0" DRAWN BY: CR

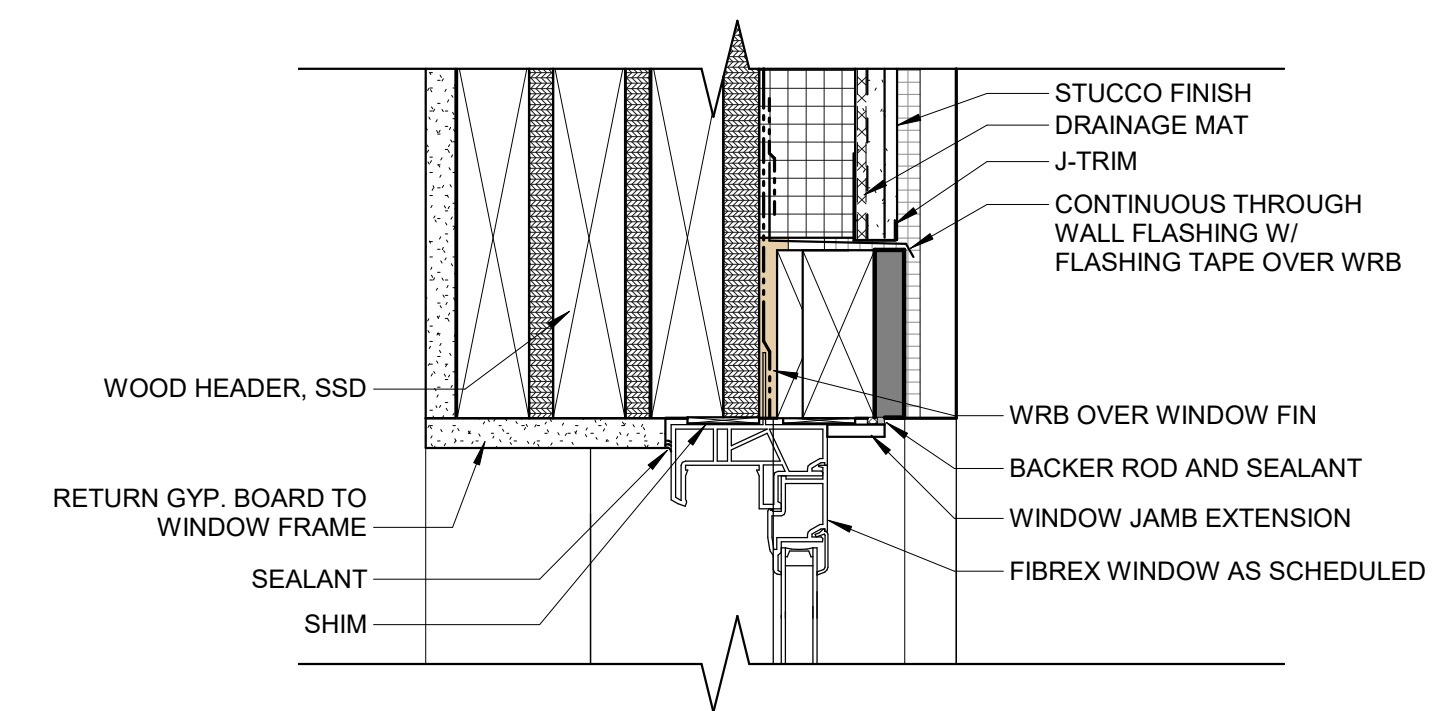
DATE: 09/11/20 CHECKED BY: DP

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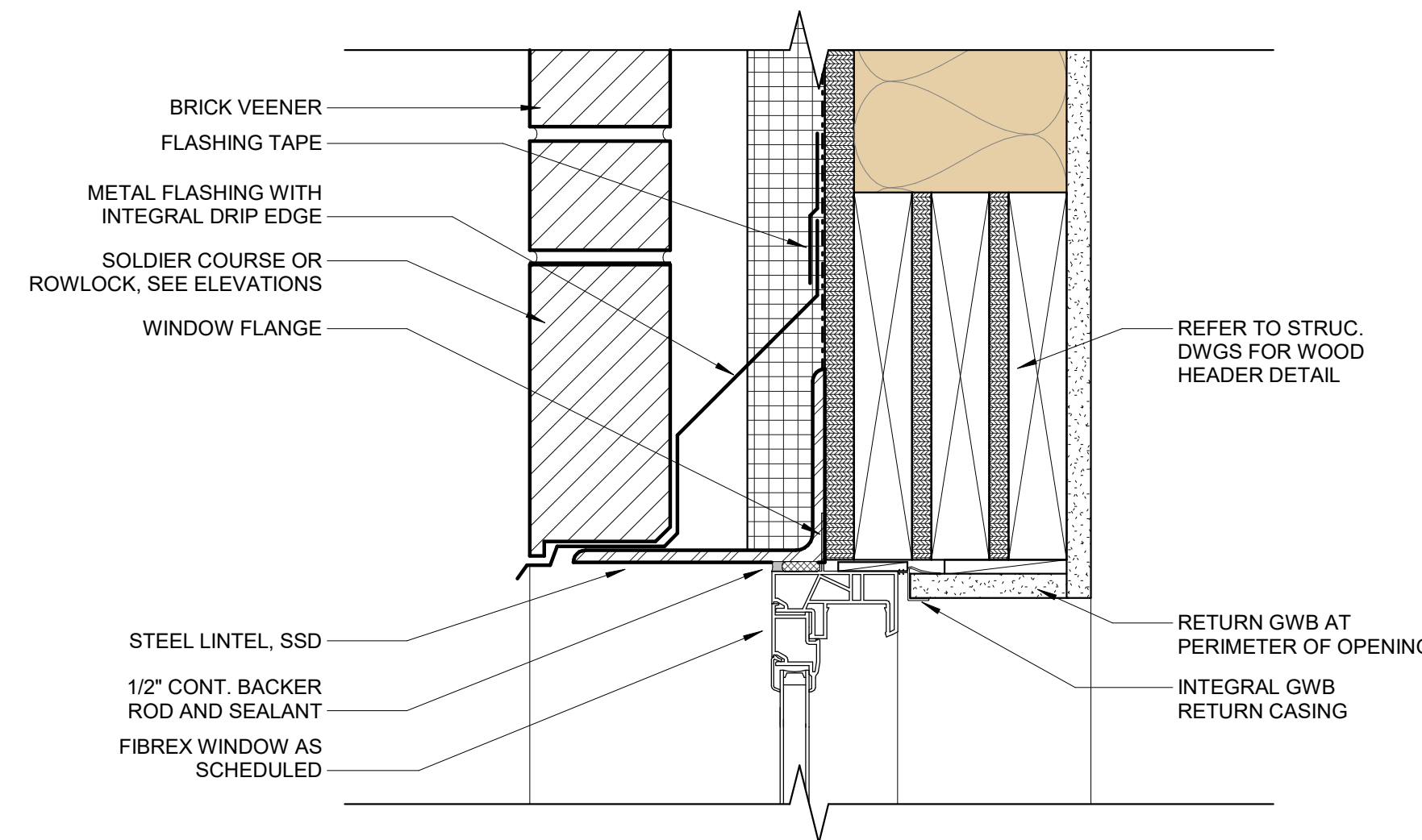
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PROJECT NO. 1915

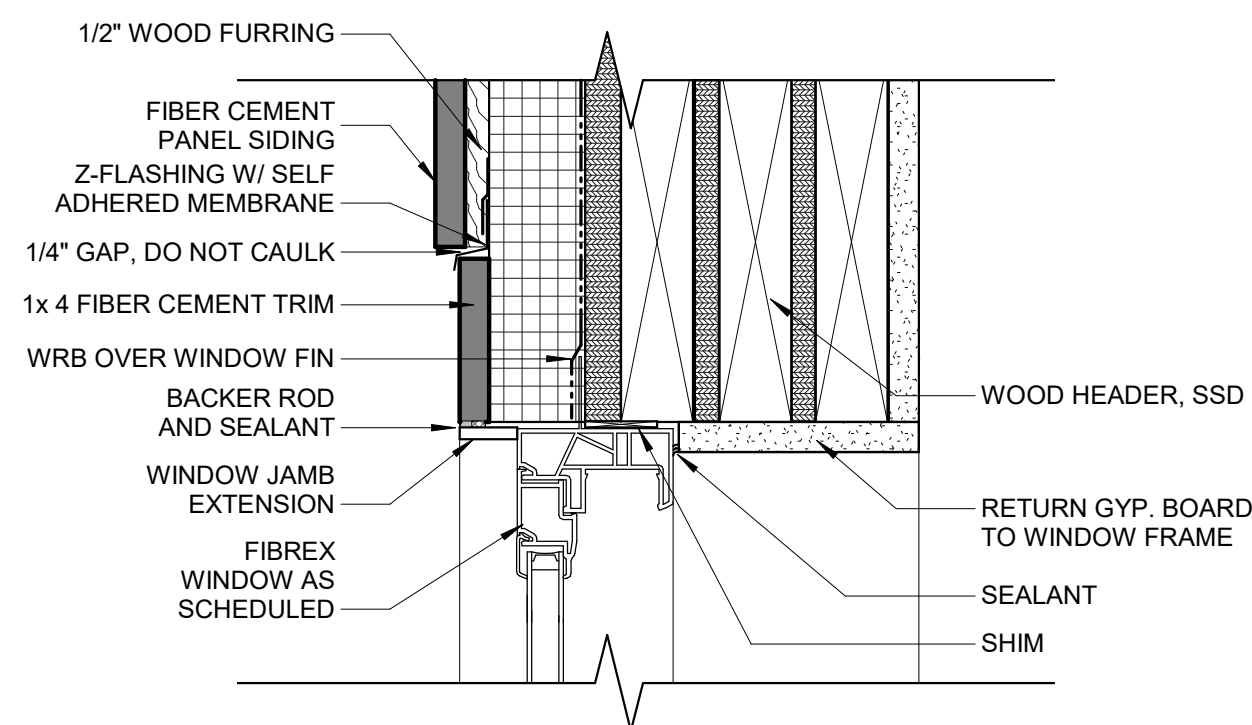
FOR CONSTRUCTION 09/11/20



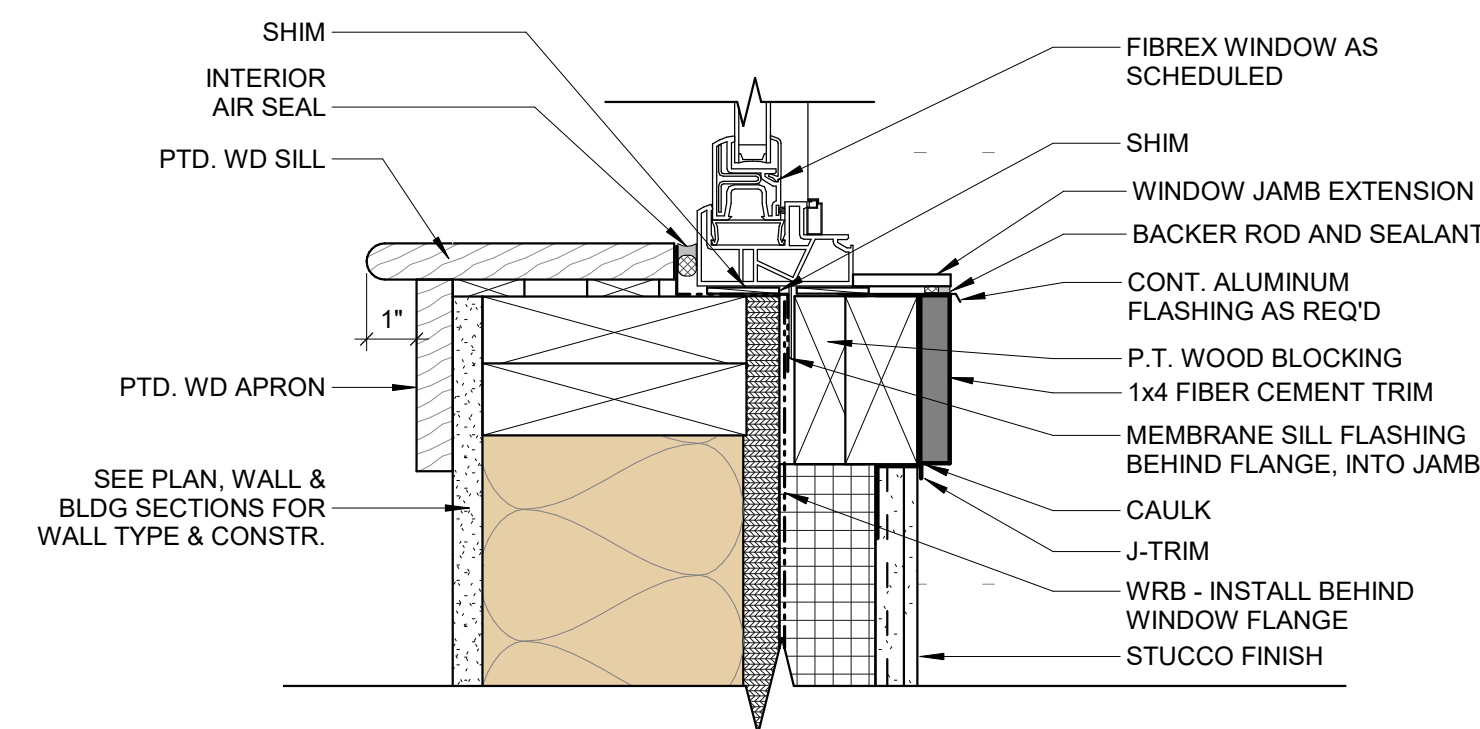
3 WINDOW DETAIL - HEAD @ STUCCO FINISH  
3" = 1'-0"



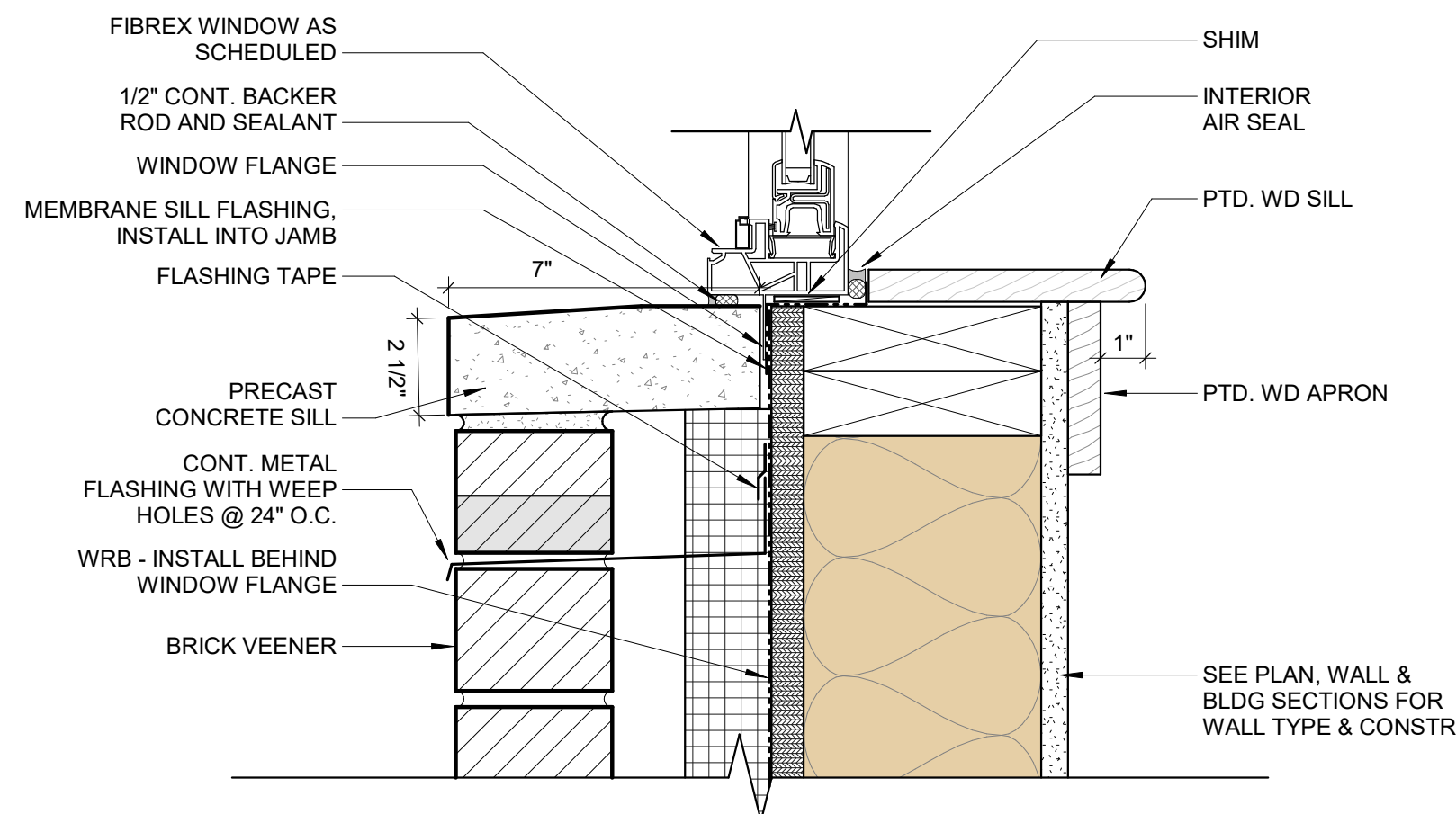
2 WINDOW DETAIL - HEAD @ BRICK  
3" = 1'-0"



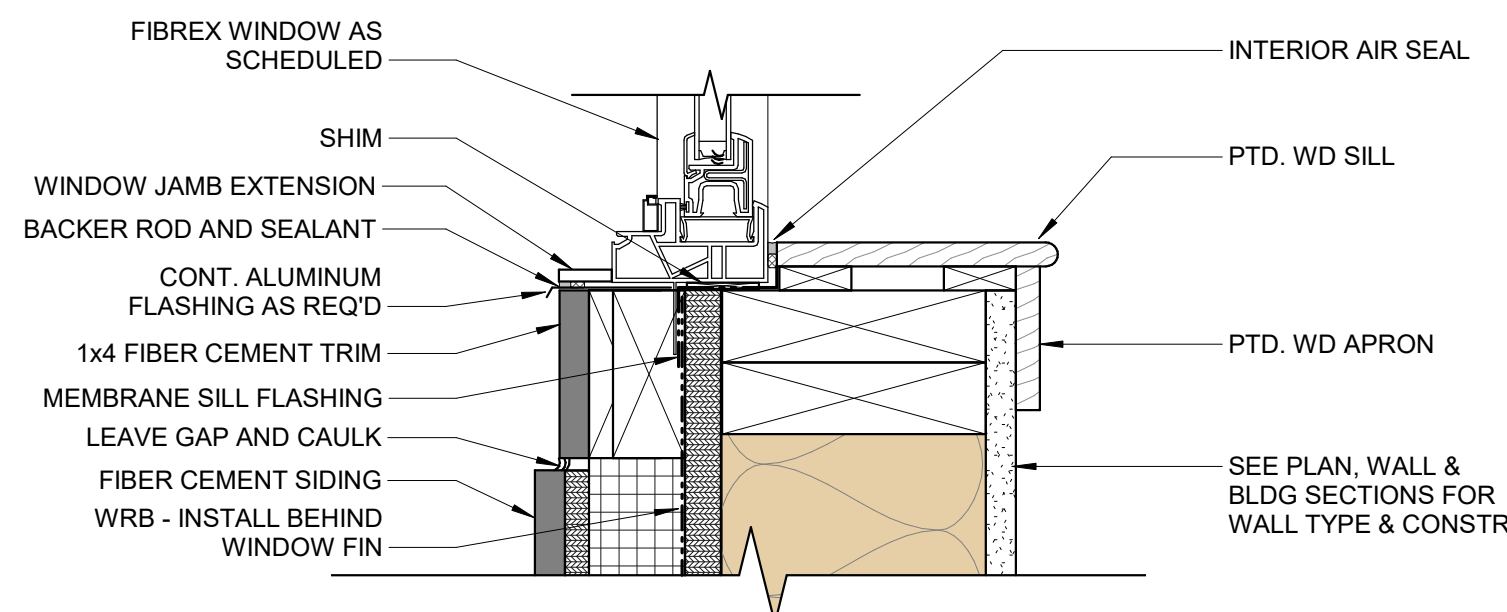
1 WINDOW DETAIL - HEAD @ FIBER CEMENT  
3" = 1'-0"



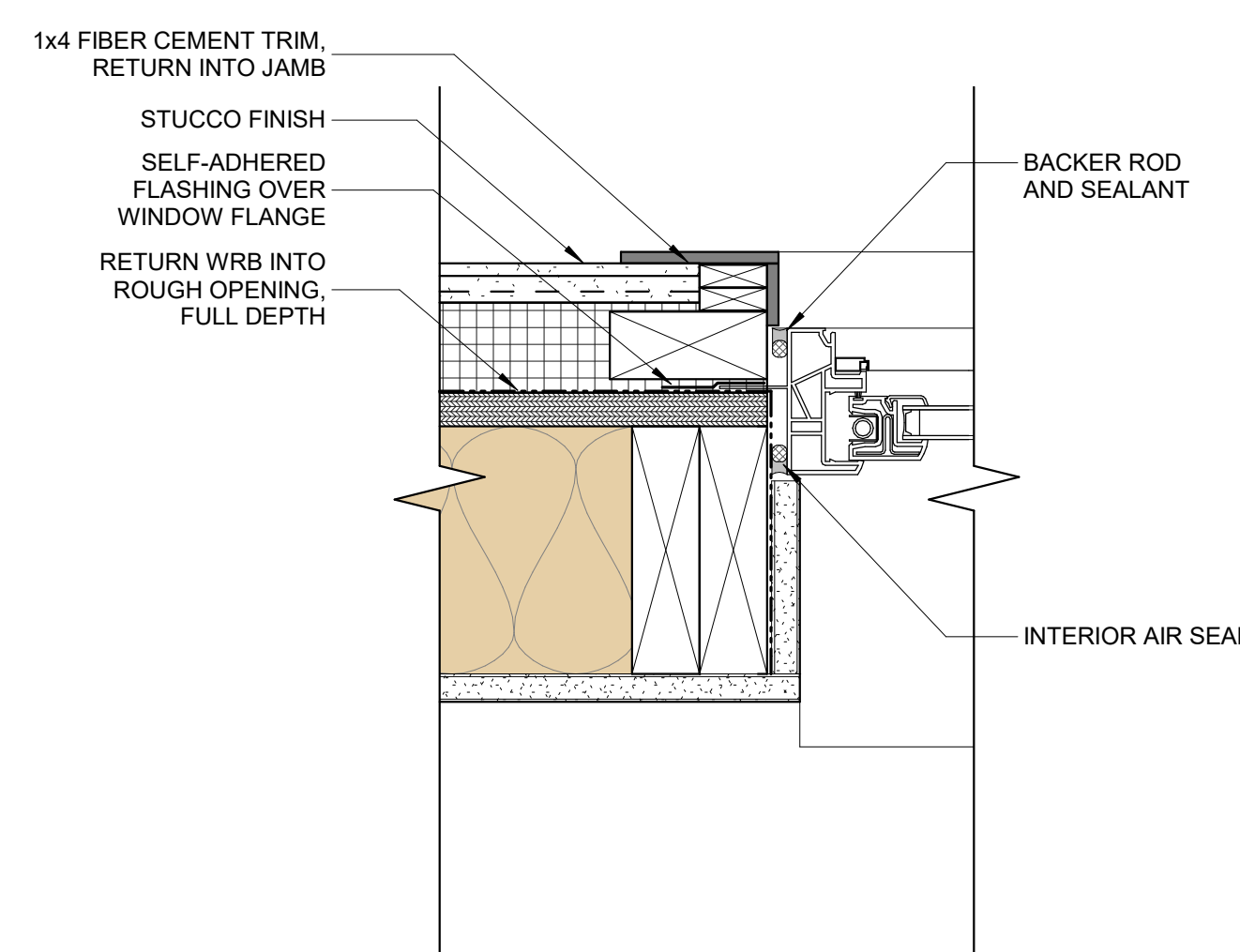
6 WINDOW DETAIL - SILL @ STUCCO FINISH  
3" = 1'-0"



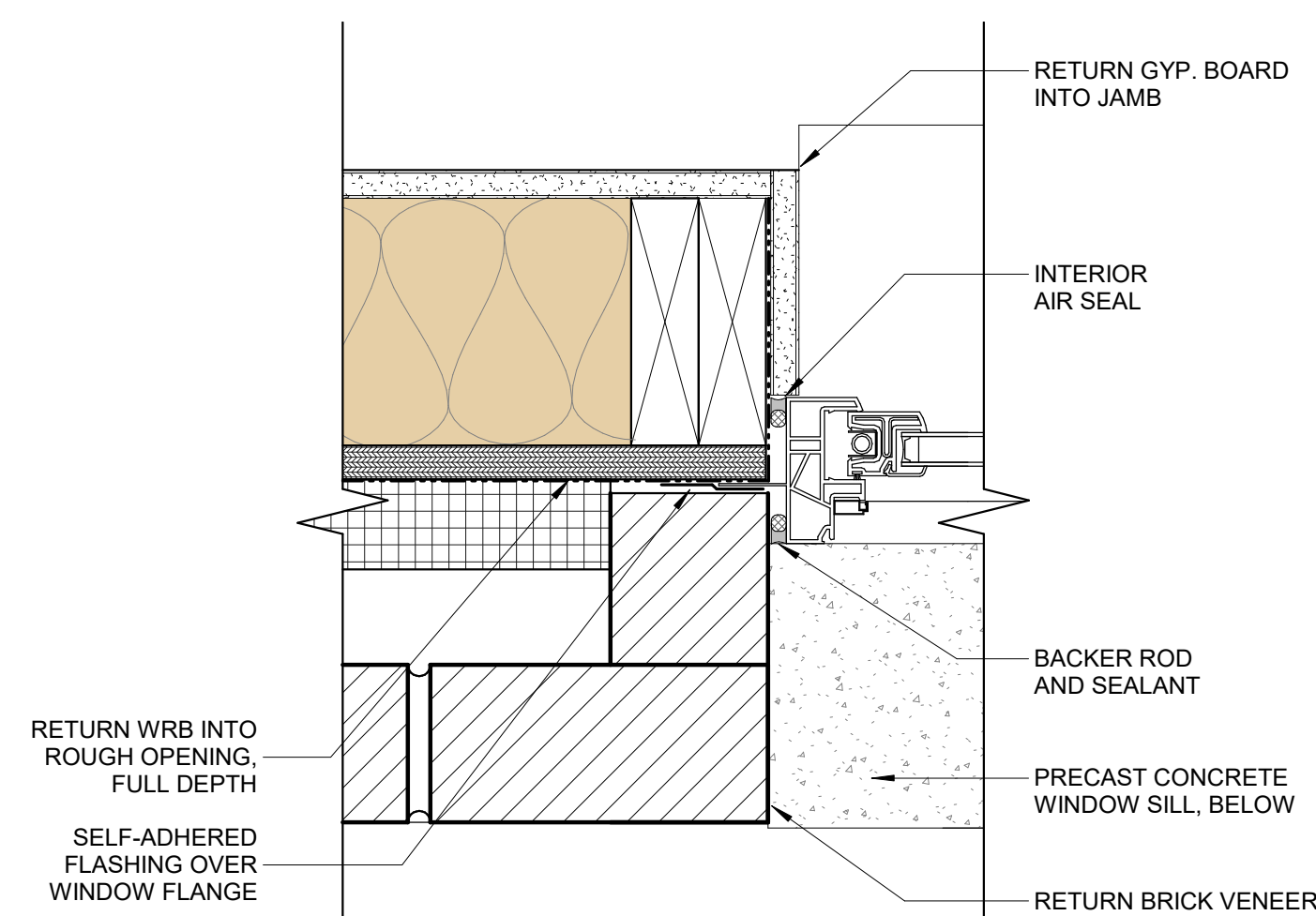
5 DETAIL - WINDOW SILL AT BRICK  
3" = 1'-0"



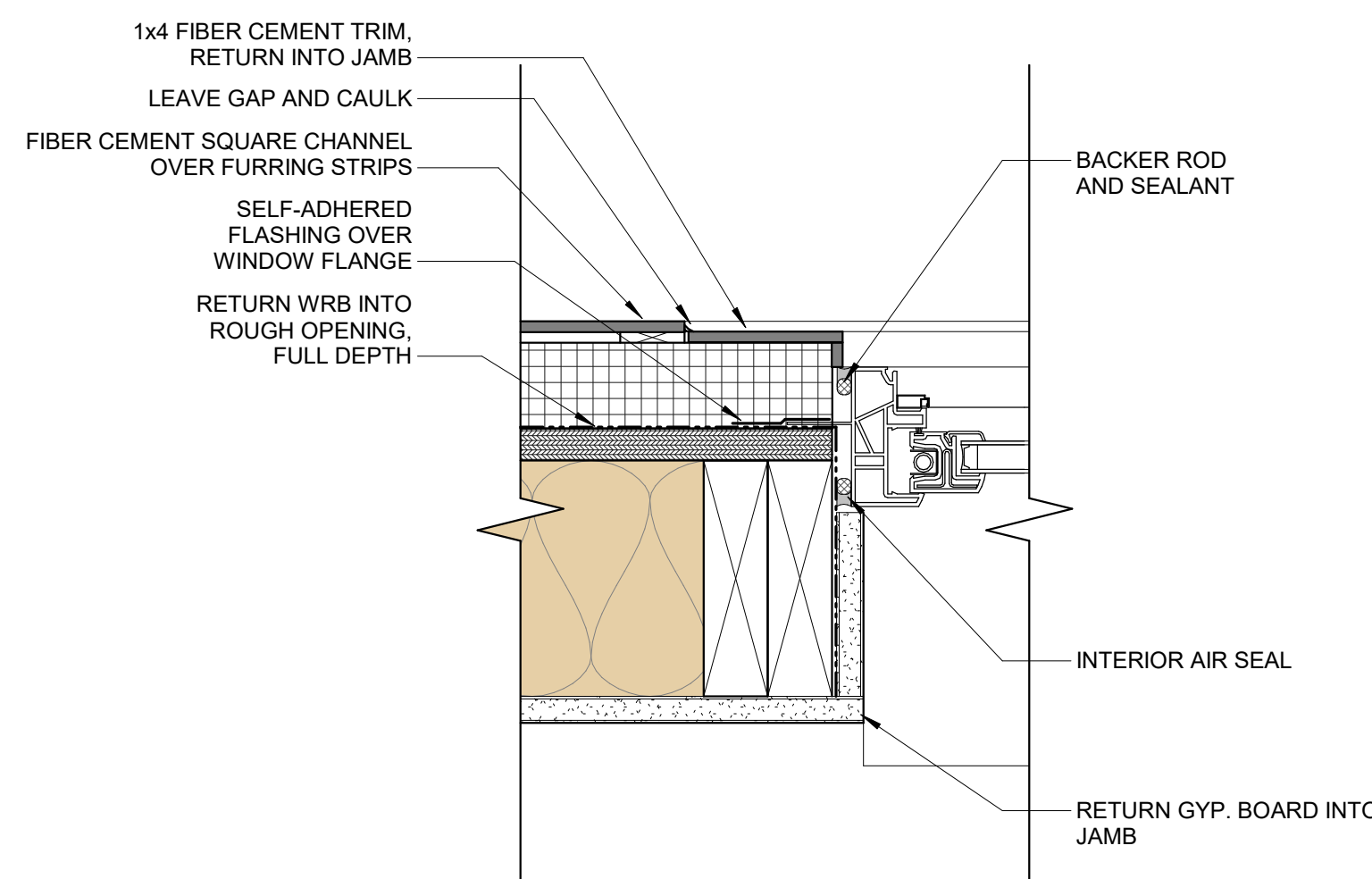
4 WINDOW DETAIL - SILL @ FIBER CEMENT  
3" = 1'-0"



9 WINDOW DETAIL - JAMB @ STUCCO  
3" = 1'-0"



8 WINDOW DETAIL - JAMB @ BRICK  
3" = 1'-0"



7 WINDOW DETAIL - JAMB @ FIBER CEMENT  
3" = 1'-0"