SALMON STREET TOWNHOUSES

2656-70 SALMON ST PHILADELPHIA, PA 19125



ARCHITECTURAL & SYSTEMS

FOR CONSTRUCTION 09/11/20



FAX 215-930-0484

PROJECT
NAME
SALMON STREET TOWNHOUSES
2656-70 SALMON ST

PHILADELPHIA, PA 19125

PROJECT
TEAM
OWNER
KIDDMA, LLC
1516 N 5TH ST, STE 212
PHILADELPHIA, PA 19122
267-516-2234

STRUCTURAL
JOSEPH BARBATO ASSOCIATES
6 DICKINSON DRIVE, #103
CHADDS FORD, PA 19317

CHADDS FORD, PA 19317 610-558-6050

SYSTEMS
BHG CONSULTING, INC
1812 SOUTH 22ND ST
PHILADELPHIA, PA 19145
215-755-9318

610-254-9140

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341

CONTRACTOR ACKNOWLEDGEMENT:

By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that:

(a) it has thoroughly reviewed <u>all</u> of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope;

(b) it has verified that the information used is accurate and complete;

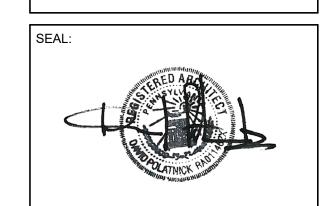
(c) it will report any inaccurate or incomplete information to the project architect immediately

upon becoming aware of the error or omission; and (d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been

with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information used.

Note:

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to finalizing their bids.



REV	ISIONS	
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DRAWING TITLE

COVER SHEET

SCALE:		DRAWN BY:
DATE:	09/11/20	CHECKED BY:

SHEET NO

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PROJECT NO.

1915

GENERAL NOTES

CONDITIONS.

- 1. ALL WORK SHALL CONFORM TO ALL CITY, COUNTY, STATE, FEDERAL AND OTHER REGULATORY CODES, LAWS AND STANDARDS. ALL DISCREPANCIES AND VARIATIONS, OR OMISSIONS IN THE CONTRACT DOCUMENTS SHALL BE REPORTED PROMPTLY TO PZS ARCHITECTS.
- 2. CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE BUILDING CODES AND LOCAL REGULATIONS. ALL CONSTRUCTIONS REFLECT THIS INFORMATION.
- 3. ALL CONSTRUCTION SHALL CONFORM TO ACCEPTED GOOD PRACTICE AS DEFINED BY THE LATEST EDITIONS OF "THE INTERNATIONAL RESIDENTIAL CODE, 2018".
- 4. DO NOT SCALE DRAWINGS: DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
- 5. THE DRAWINGS ILLUSTRATE THE DESIGN INTENT. THE DOCUMENTS DO NOT DELINEATE OR DESCRIBE EVERY DETAIL AND FEATURE OF WORK. ALL WORK THAT IS INDICATED ON THE DRAWINGS BUT IS NOT EXPRESSLY MENTIONED IN THE DRAWINGS AND ALL WORK THAT IS MENTIONED IN THE DRAWINGS BUT IS NOT EXPRESSLY INDICATED ON THE DRAWINGS SHALL BE PROVIDED BY EACH OF THE RESPECTIVE CONTRACTORS AS IS NECESSARY TO COMPLETE THE WORK.
- 6. FOR CONSTRUCTION DETAILS NOT SHOWN ON DRAWINGS, USE THE MANUFACTURER'S RECOMMENDED/APPROVED SHOP DRAWINGS AND DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 7. THE CONSTRUCTION DOCUMENTS (I.E. DRAWINGS, SPECIFICATIONS) SHALL NOT BE USED FOR ISSUANCE OF BUILDING PERMITS UNLESS SIGNED AND SEALED BY THE ARCHITECT.
- 8. CHANGES TO THE PLANS SHALL BE MADE IN ACCORDANCE WITH THE PROCEDURES ESTABLISHED IN THE GENERAL
- 9. THE ARCHITECT WILL NOT BE RESPONSIBLE WHERE CONSTRUCTION DEVIATES FROM THE DRAWINGS.
- 10. ANY OMISSIONS FROM THE DOCUMENTS WHICH WOULD CUSTOMARILY BE PART OF THE SYSTEM OR FINISHES SHALL BE PROVIDED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 11. THE CONSTRUCTION AREA SHALL BE THOROUGHLY CLEANED PRIOR, DURING AND AFTER CONSTRUCTION.
- 12. THE CONTRACTOR SHALL INSPECT THE JOB SITE PRIOR TO THE START OF WORK. VERIFY ALL SITE CONDITION, DIMENSIONS, QUANTITIES, BUILDING RULES AND OTHER LIMITATIONS. NO SUBSEQUENT EXTRAS WILL BE ALLOWED FOR ANY CLAIM DUE TO LACK OF KNOWLEDGE OF DISCERNIBLE CONDITIONS.
- 13. THE ARCHITECT, ENGINEER SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR.
- 14. REMOVE FROM SITE EXCESS EXCAVATED MATERIALS, TRASH, DEBRIS, AND WASTE MATERIALS. DISPOSAL SHALL BE IN A MANNER APPROVED BY STATE AND LOCAL AUTHORITIES.
- 15. ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER WHICH PREVENTS INJURY OR DAMAGE TO PERSONS,

SURROUNDING PRIVATE/PUBLIC PROPERTIES, AND PUBLIC RIGHT OF WAY.

- 16. CONTRACTOR SHALL PROVIDE ANY REQUIRED PROTECTION OF WORK. NOTHING HEREIN CONTAINED SHALL BE CONSTRUED TO NULLIFY ANY RULES, REGULATIONS OR STATUTES OF STATE OR FEDERAL AGENCIES GOVERNING THE PROTECTION OF THE PUBLIC OR WORKERS FROM HEALTH OR OTHER HAZARDS INVOLVED IN THE OPERATIONS REQUIRED TO
- 17. CONSTRUCT AND INSTALL TEMPORARY PROTECTION MEASURES PRIOR TO START OF CONSTRUCTION. TEMPORARY PROTECTION SHALL BE REMOVED WHEN WORK IS COMPLETE. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE, BUILDING OR STRUCTURE FROM DAMAGE OR INJURY.
- 18. PROTECT EXISTING ROADWAYS, WALKWAYS, AND ADJOINING SPACES. ENCLOSE STAGING EQUIPMENT AND STAGE AREAS WITH BARRICADES TO PREVENT ENTRY OF UNAUTHORIZED PERSONS. THE CONTRACTOR SHALL AT ALL TIMES PRESERVE AND PROTECT THE SITE, EXISTING BUILDINGS OR STRUCTURES FROM DAMAGE OR INJURY.
- 19. ALL CONSTRUCTION EQUIPMENT AND SAFEGUARDS SHALL BE CONSTRUCTED, INSTALLED AND MAINTAINED IN A SUBSTANTIAL MANNER AND SHALL BE SO OPERATED AS TO INSURE PROTECTION TO THE WORKERS ENGAGED THEREON AND TO THE GENERAL PUBLIC. ALL EXISTING AND ADJOINING IMPROVEMENTS SHALL BE PROTECTED FROM DAMAGE INCIDENTAL TO CONSTRUCTION OPERATIONS.
- 20. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- 21. PLACING OF ACCESS DOORS IN GWB CEILING UNLESS SHOWN ON THE ARCHITECTURAL DRAWINGS SHALL NOT BE ACCEPTED. LOCATE AND INSTALL ALL WORK AS REQUIRED TO PRECLUDE THE NEED FOR ACCESS THROUGH THE CEILING. COORDINATION OF THIS REQUIREMENT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 22. ALL CONCEALED INSULATION TO HAVE A FLAME SPREAD RATING OF 25 OR LESS AND A SMOKE DEVELOPED RATING OF 450
- 23. EXIT HARDWARE SHALL ALLOW FOR EGRESS AT ALL TIMES WITHOUT THE USE OF SPECIAL KNOWLEDGE OR EFFORT.
- 24. FIRESTOPPING SHALL BE PROVIDED TO FORM AN EFFECTIVE BARRIER BETWEEN ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL.
- 25. HINGE SIDE OF DOOR OPENING TO BE 4" FROM FACE OF ADJACENT PERPENDICULAR WALL, U.N.O.
- 26. THE GENERAL CONTRACTOR SHALL NOT PLACE CEILING HVAC REGISTER OR DIFFUSERS WHEREVER SHELVING, FILES, OR CASEWORK ARE INDICATED ON THE DRAWINGS.
- 27. ALL DIMENSION ARE TO THE FRAMING, U.N.O.
- 28. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS TO COORDINATE THE WORK AND VERIFY ALL DIMENSIONS AND INSPECT CONDITIONS OF PRIOR WORK BY ALL TRADES BEFORE PROCEEDING WITH ANY WORK. UNACCEPTABLE OR INCORRECT PRIOR WORK SHALL BE REMOVED OR REPLACED BEFORE STARTING WORK. PROCEEDING WITH THE WORK SHALL CONSTITUTE ACCEPTANCE OF PRIOR WORK.
- 29. PROVIDE WOOD OR METAL BLOCKING AT PARTITIONS, CEILINGS, AND WALLS FOR ALL MOUNTED ACCESSORIES AS
- 30. RECHECK MEASUREMENTS AND DIMENSIONS BEFORE STARTING EACH INSTALLATION. INSPECT BOTH THE SUBSTRATE AND THE CONDITIONS FOR EACH MAJOR COMPONENT. DO NOT PROCEED UNTIL ANY UNSATISFACTORY CONDITION(S) HAVE BEEN CORRECTED IN AN ACCEPTABLE MANNER.
- 31. COMPLY WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATION TO THE EXTENT THAT THOSE INSTRUCTIONS AND RECOMMENDATIONS ARE MORE EXPLICIT OR STRINGENT THAN REQUIREMENTS CONTAINED IN
- 32. PROVIDE ATTACHMENTS AND CONNECTION DEVICES AND METHODS NECESSARY FOR SECURING WORK. SECURE WORK TRUE TO LINE AND LEVEL. ALLOW FOR EXPANSION AND BUILDING MOVEMENT.
- 33. PROVIDE UNIFORM JOINT WIDTHS IN EXPOSED WORK. ARRANGE JOINTS IN EXPOSED WORK TO OBTAIN THE BEST VISUAL EFFECT. REFER QUESTIONABLE CHOICES TO OWNER FOR FINAL DECISION.
- 34. FOR CONSTRUCTION DETAILS NOT SHOWN ON DRAWINGS, USE THE MANUFACTURER'S RECOMMENDED/APPROVED SHOP DRAWINGS AND DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 35. FIRESTOPPING SHALL BE PROVIDED TO FORM AN EFFECTIVE BARRIER BETWEEN ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL.

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	G0.0	COVER SHEET	09/11/20			
	G0.1	GENERAL NOTES & DRAWING LIST	09/11/20			
	G0.2	LIFE SAFETY PLAN & CODE ANALYSIS	09/11/20			
		SPECIFICATIONS	09/11/20			
	G0.4	SPECIFICATIONS	09/11/20			
		SPECIFICATIONS	09/11/20			
	G.06	SPECIFICATIONS	09/11/20			
	1 OF 7	CIVIL - EXISTING CONDITIONS AND DEMOLITION PLAN	09/11/20			
		CIVIL - SITE PLAN	09/11/20			
	3 OF 7	CIVIL - GRADING AND UTILITY PLAN	09/11/20			
	4 OF 7	CIVIL - DETAILS PLAN	09/11/20			
		CIVIL - DETAILS PLAN	09/11/20			
		CIVIL - SOIL EROSION AND SEDIMENT CONTROL PLAN	09/11/20			
	7 OF 7	CIVIL - SOIL EROSION AND SEDIMENT CONTROL DETAILS	09/11/20			
	A1.0	EXISTING CONDITIONS	09/11/20			
	A2.0A	FOOTINGS / FOUNDATION PLAN	09/11/20			
	A2.0B	BASEMENT PLAN	09/11/20			
	A2.1	FIRST FLOOR PLAN	09/11/20			
	A2.2	SECOND FLOOR PLAN	09/11/20			
	A2.3	THIRD FLOOR PLAN	09/11/20			
	A2.4	UNIT PLANS - TYPICAL	09/11/20			
	A2.5	UNIT PLANS - CARRIAGE HOUSE	09/11/20			
		PLAN DETAILS	09/11/20			
		ROOF PLAN	09/11/20			
		ENLARGED ROOF PLANS & DETAILS	09/11/20			
		ROOF DETAILS	09/11/20			
		ROOF DETAILS	09/11/20			
		ROOF DETAILS	09/11/20			
	A4.0	REFLECTED CEILING PLANS - TYP UNIT	09/11/20			
	A4.1 A5.0	REFLECTED CEILING PLAN - CARRIAGE UNIT	09/11/20 09/11/20			
		EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS	09/11/20			
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		3D VIEWS	09/11/20			
		BUILDING SECTIONS	09/11/20			
		WALL SECTION DETAILS	09/11/20			
	A6.2	WALL SECTION DETAILS	09/11/20			
	A7.0	CASEWORK PLANS & ELEVATIONS	09/11/20			
	A8.0	VERTICAL CIRCULATION - TYP. UNIT	09/11/20			
	A8.1	VERTICAL CIRCULATION - CARRIAGE HOUSE & EXT.	09/11/20			
	A9.0	SCHEDULES	09/11/20			
	A9.1	WINDOW ELEVATIONS & DETAILS	09/11/20			
	A9.2	WINDOW DETAILS	09/11/20			
	S-0.0	GENERAL STRUCTURAL NOTES	09/11/20			
		GENERAL STRUCTURAL NOTES & SCHEDULES	09/11/20			
		FOUNDATION PLAN	09/11/20			
		FIRST FLOOR FRAMING PLAN	09/11/20			
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	S-1.3	THIRD FLOOR FRAMING PLAN	09/11/20			
		ROOF FRAMING PLAN SECTIONS	09/11/20 09/11/20			
	S-3.0	TYPICAL DETAILS	09/11/20			
	S-4.0	SHEAR WALL ELEVATION AND DETAILS	09/11/20			
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	P1.0	PLUMBING COVER SHEET	09/11/20			
		PLUMBING UTILITY PLANS - TYPICAL WATER/GAS	09/11/20			
		PLUMBING UTILITY PLANS - TYPICAL WASTE/VENT	09/11/20			
	P2.2	PLUMBING UNIT PLANS - TYP. CARRIAGE HOUSE WATER/GAS	09/11/20			
		PLUMBING UNIT PLANS - TYP. CARRIAGE HOUSE WASTE/VENT	09/11/20			
		PLUMBING RISER DIAGRAMS	09/11/20			
		PLUMBING RISER DIAGRAMS	09/11/20			
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	P4.0	PLUMBING DETAILS	09/11/20			
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	E-1.0	ELECTRICAL TYPICAL UNIT FLOOR PLANS	09/11/20			
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	E-1.4	ELECTRICAL TYPICAL UNIT FLOOR PLANS	09/11/20			
		ELECTRICAL TYPICAL UNIT FLOOR PLANS	09/11/20			
		ELECTRICAL PANEL SCHED/RISER/DETAILS	09/11/20			
		ELECTRICAL SPECIFICATIONS	09/11/20			
	E-3.1	ELECTRICAL SPECIFICATIONS	09/11/20			

4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

PROJECT NAME

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145

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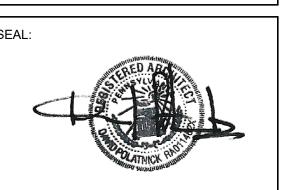
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upon becoming aware of the error or omission; (d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information

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DRAWING TITLE

7

SCALE: 12" = 1'-0" | DRAWN BY: CR

09/11/20 | CHECKED BY: DF

SHEET NO.

1915

CODE SUMMA	\RY		
BUILDING CODE	IRC 2018		
CONSTRUCTION CLASSIFICATION	TYPE VB		
PRIMARY USE GROUP	RESIDENTIAL		
HEIGHT	38'-6"		
AREA	TOWN HOUSE : 1875 SF (EACH) CARRIAGE HOUSE : 1705 SF (EACH		
AREA MODIFICATIONS			
SPRINKLER INCREASE	N/A		
FRONTAGE INCREASE	N/A		

JURISDICTION:

PHILADELPHIA, PENNSYLVANIA

ADDRESS: DEPARTMENT OF LICENSES AND INSPECTIONS 1401 JOHN F. KENNEDY BOULEVARD

> PHILADELPHIA, PA 19102 (215) 686-8686 **WWW.PHILA.GOV**

LISTING OF APPLICABLE CODES

PHILADELPHIA CODE

THE PHILADELPHIA ADMINISTRATIVE CODE

PHILADELPHIA BUILDING CODE PHILADELPHIA MECHANICAL CODE

PHILADELPHIA ELECTRICAL CODE PHILADELPHIA PERFORMANCE CODE

PHILADELPHIA ENERGY CONSERVATION CODE PHILADELPHIA FIRE CODE

PHILADELPHIA FUEL GAS CODE

PHILADELPHIA ZONING CODE PHILADELPHIA PLUMBING CODE

INTERNATIONAL CODE COUNCIL
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)

2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL BUILDING CODE (APPENDIX E)

2018 ICC A117.1 2018 INTERNATIONAL MECHANICAL CODE

2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

2018 INTERNATIONAL FUEL GAS CODE 2018 ICC PERFORMANCE CODE

AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (NFPA-13)

EXTERIOR WALL FIRE-RESISTANCE RATING (IBC CHAPTER 3, TABLE R302.1):

EXTERIOR WALL RATING (SPRINKLERED) 1HR* 0HR EXTERIOR WALL RATING (UNSPRINKLERED) 1HR* NA 0HR

*TESTED IN ACCORDANCE WITH ASTM E119 UL 263 OR SECTION 703.3 OF IBC

OPENINGS IN WALLS (UNSPRINKLERED) 25% MAX OF WALL AREA IF 0' < X < 3'

OPENINGS IN WALLS (SPRINKLERED): NOT ALLOWED IF X < 3'

WALLS SEPARATING TOWNHOUSE UNITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION R302.2.1 OR R302.2.2.

R302.2.1 DOUBLE WALLS:

UNLIMITED IF 3' < X

UNLIMITED IF 3' < X

EACH TOWNHOUSE SHALL BE SEPARATED BY TWO 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLIES TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE INTERNATIONAL BUILDING CODE.

COMMON WALLS SEPARATING TOWNHOUSES SHALL BE ASSIGNED A FIRE-RESISTANCE RATING IN ACCORDANCE WITH ITEM 1 OR 2. THE COMMON WALL SHARED BY TWO TOWNHOUSES SHALL BE CONSTRUCTED WITHOUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL. THE WALL SHALL BE RATED FOR FIRE EXPOSURE FROM BOTH SIDES AND SHALL EXTEND TO AND BE TIGHT AGAINST EXTERIOR WALLS AND THE UNDERSIDE OF THE ROOF SHEATHING. ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH CHAPTERS 34 THROUGH 43. PENETRATIONS OF THE MEMBRANE OF COMMON WALLS FOR ELECTRICAL OUTLET BOXES SHALL BE IN ACCORDANCE WITH SECTION R302.4.

1. WHERE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904 IS PROVIDED, THE COMMON WALL SHALL BE NOT LESS THAN A 1-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE INTERNATIONAL BUILDING CODE.

2.WHERE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION P2904 IS NOT PROVIDED, THE COMMON WALL SHALL BE NOT LESS THAN A 2-HOUR FIRE-RESISTANCE-RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH ASTM E119, UL 263 OR SECTION 703.3 OF THE INTERNATIONAL BUILDING

 $\frac{\text{R302.2.3 CONTINUITY:}}{\text{THE FIRE-RESISTANCE-RATED WALL OR ASSEMBLY SEPARATING TOWNHOUSES}}$ SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR SLAB. THE FIRE-RESISTANCE RATING SHALL EXTEND THE FULL LENGTH OF THE WALL OR ASSEMBLY, INCLUDING WALL EXTENSIONS THROUGH AND SEPARATING ATTACHED ENCLOSED ACCESSORY

SECTION R302.2.2, ITEM 1 OR 2.

PARAPETS SHALL HAVE THE SAME FIRE-RESISTANCE RATING AS THAT REQUIRED FOR THE SUPPORTING WALL OR WALLS. EXCEPTIONS:TOWNHOUSES SEPARATED BY A COMMON WALL AS PROVIDED IN

R302.4 DWELLING UNIT RATED PENETRATIONS:
PENETRATIONS OF WALL OR FLOOR-CEILING ASSEMBLIES REQUIRED TO BE FIRE-RESISTANCE RATED IN ACCORDANCE WITH SECTION R302.2 OR R302.3 SHALL BE PROTECTED IN ACCORDANCE WITH THIS SECTION.

THROUGH PENETRATIONS OF FIRE-RESISTANCE-RATED WALL OR FLOOR ASSEMBLIES SHALL COMPLY WITH SECTION R302.4.1.1 OR R302.4.1.2.

R302.6 DWELLING-GARAGE FIRE SEPARATION: THE GARAGE SHALL BE SEPARATED AS REQUIRED BY TABLE R302.6. OPENINGS IN GARAGE WALLS SHALL COMPLY WITH SECTION R302.5. ATTACHMENT OF GYPSUM BOARD SHALL COMPLY WITH TABLE R702.3.5. THE WALL SEPARATION PROVISIONS OF TABLE R302.6 SHALL NOT APPLY TO GARAGE WALLS THAT ARE

USE AND OCCUPANCY CLASSIFICATION (IBC CHAPTER 3, SECTION 304.1): PRIMARY USE: SINGLE FAMILY DWELLING

GENERAL BUILDING HEIGHTS AND AREAS (IRC CHAPTER 5): 3 STORIES, SINGLE FAMILY TOWNHOUSES

PERPENDICULAR TO THE ADJACENT DWELLING UNIT WALL.

EMERGENCY ESCAPE AND RESCUE OPENINGS (IRC SECTION R310.1): BASEMENTS, HABITABLE ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE

R310.2.1MINIMUM OPENING AREA:

EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM).

EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE OPENINGS SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5 SQUARE FEET (0.465

R310.2.2 WINDOW SILL HEIGHT: WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE

OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR; WHERE THE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN 9 SQUARE FEET (0.9 M2), WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES (914 MM). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY

EXCEPTION: THE LADDER OR STEPS REQUIRED BY SECTION R310.2.3.1 SHALL BE PERMITTED TO ENCROACH NOT MORE THAN 6 INCHES (152 MM) INTO THE REQUIRED DIMENSIONS OF THE WINDOW WELL.

R310.2.3.1 LADDER AND STEPS:
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R311.7. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

MEANS OF EGRESS (IRC SECTION R311.2): NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING

THE EGRESS DOOR SHALL BE SIDE-HINGED, AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP, WITH THE DOOR OPEN 90 DEGREES (1.57 RAD). THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPENABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES (787 MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.

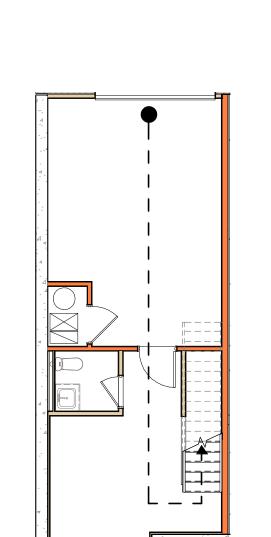
THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 6 FEET 8 INCHES (2032 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

THE RISER HEIGHT SHALL BE NOT MORE THAN 73/4 INCHES (196 MM). THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (0.51 RAD) FROM THE VERTICAL. AT OPEN RISERS, OPENINGS LOCATED MORE THAN 30 INCHES (762 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR GRADE BELOW SHALL NOT PERMIT THE PASSAGE OF A 4-INCH-DIAMETER (102

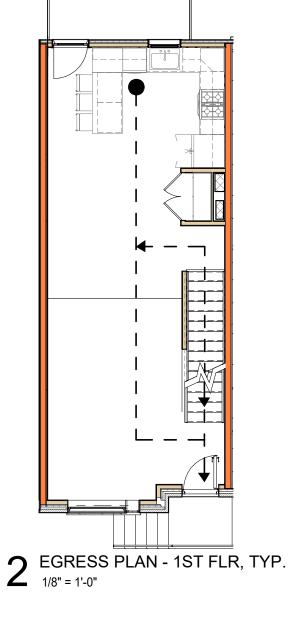
R311.7.5.2 TREADS: THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE

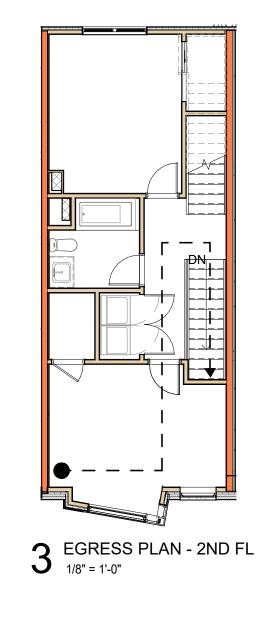
R313.1 TOWNHOUSE AUTOMATIC FIRE SPRINKLER SYSTEMS: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN

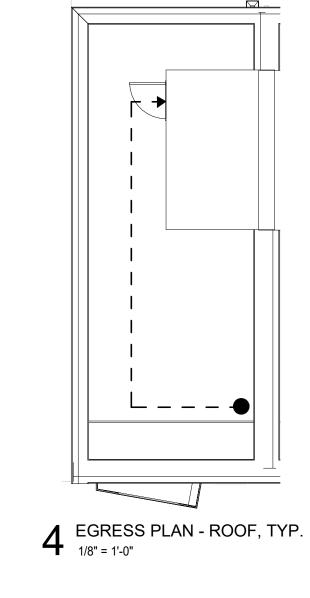
R313.1.1 DESIGN AND INSTALLATION:
AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS FOR TOWNHOUSES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION P2904 OR NFPA



EGRESS PLAN - BASEMENT, TYP.







LIFE SAFETY LEGEND

ullet - - - - ullet EXIT PATH

__.._

 $\langle 5 \rangle$

5

DOOR#

36"

.20"

180

100

— - — - — NEW 1 HR RATED WALL AND

 $-(300'-0") - \rightarrow$ EXIT ACCESS TRAVEL DISTANCE

● - - - (300'-0") - - - > MAX TRAVEL DISTANCE

TENANT SEPARATION

TENANT SEPARATION

ACCESSIBLE ROUTE

AREA POPULATION

MAX TRIBUTARY EXIT LOAD

SUBTOTAL - COMBINED

STAIR OR DOOR WIDTH

UNIT WIDTH/PERSON

TOTAL CAPACITY

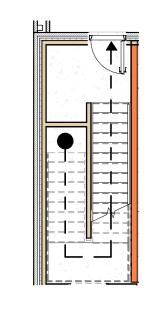
ACTUAL LOAD

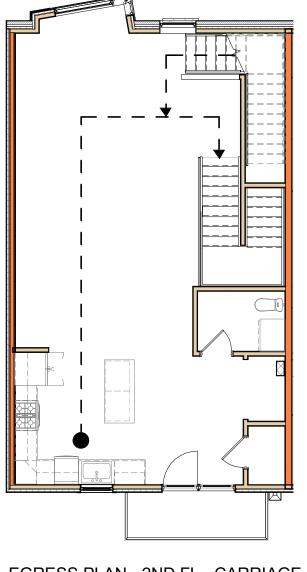
TRIBUTARY LOADS

STAIR # OR DOOR #

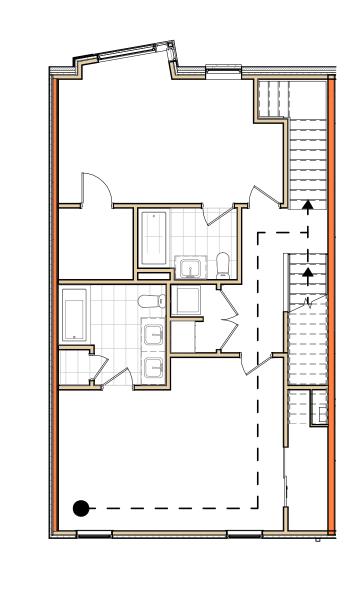
NEW 2 HR RATED WALL AND

COMMON PATH OF EGRESS TRAVEL

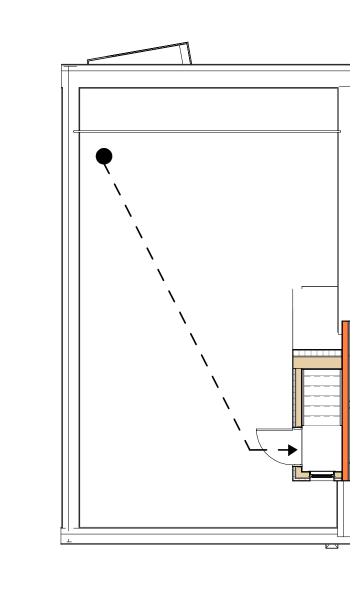








7 EGRESS PLAN - 3RD FL - CARRIAGE



8 EGRESS PLAN - ROOF - CARRIAGE 1/8" = 1'-0"



4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

PROJECT NAME

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317

610-558-6050

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

CONTRACTOR ACKNOWLEDGEMENT:

By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that: (a) it has thoroughly reviewed all of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope; (b) it has verified that the information used is accurate and complete; (c) it will report any inaccurate or incomplete information to the project architect immediately upon becoming aware of the error or omission;

(d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to finalizing their bids.



REVISIONS NO. DATE ISSUE

RAWING TITLE

LIFE SAFETY PLAN & CODE **ANALYSIS**

SCALE: As indicated | DRAWN BY: 09/11/20 | CHECKED BY: DF

SHEET NO.

SPECIFICATIONS

DIVISION 00 - PROCURING AND CONTRACTING REQUIREMENTS

BIDDING REQUIREMENTS

THE PROPOSAL SHALL BE SUBMITTED ON A STIPULATED SUM BASIS, PRESENTED BY ASSIGNING THE PREDETERMINED DIVISIONS LISTED ON THE BID FORM SHEET; SUMMATION OF THE STIPULATED SUM. THE BIDDER IS REQUIRED TO BID ON THE BASE BID ALL AND ALTERNATES. EACH ALTERNATE PRICE SHALL INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, AND SALES TAX.

THE CONTRACTOR ACKNOWLEDGES THAT HE HAS SATISFIED HIMSELF AS TO THE NATURE, LOCATION, GENERAL CONDITIONS, PARTICULARLY THOSE BEARING UPON TRANSPORTATION, CODES, AND ORDINANCES, DISPOSAL HANDLING AND STORAGE OF MATERIALS. AVAILABILITY OF LABOR, TYPE OF PAYMENT AND FACILITIES REQUIRED TO DO SO PROPERLY ESTIMATING THE DIFFICULTY OF COST THERE OF. THE OWNER ASSUMES NO RESPONSIBILITY FOR ANY REPRESENTATIONS

MADE BY ANY OF ITS AGENTS OR REPRESENTATIVES TO CONTRACTOR DURING OR PRIOR TO EXECUTION OF AGREEMENT, UNLESS SUCH REPRESENTATION AND OWNERS RESPONSIBILITY IS EXPRESSLY STATED IN

AGREEMENT. NO ADDITION TO THE CONTRACT BID CAN BE ACCEPTED FOR CONDITIONS INCREASING THE COST IF SUCH CONDITIONS COULD HAVE BEEN OBSERVED BY THOROUGH SITE INSPECTION.

ALL RFI'S REGARDING INTERPRETATIONS OR CLARIFICATIONS OF REQUIREMENTS SHALL BE DIRECTED TO THE ARCHITECT IN WRITING.

THE CONTRACT WILL BE AWARDED AS SOON AS POSSIBLE TO THE SELECTED BIDDER, AS DETERMINED BY THE OWNER AND AT HIS/HER SOLE DISCRETION. THE OWNER RESERVED THE RIGHT TO WAIVE ANY INFORMATION IN BIDS RECEIVED WHEN SUCH WAIVER IS IN THE INTEREST OF THE OWNER.

THE PRICE FOR EXTRAS SHALL BE CALCULATED AT THE CONTRACTOR'S COST PLUS OVERHEAD AND PROFIT AT THE PERCENTAGE LIMITED BY THE OWNER.

SUBSTITUTIONS

WHENEVER POSSIBLE THROUGH THE CONTRACT DOCUMENTS, THE MINIMUM ACCEPTABLE QUALITY OF WORKMANSHIP AND MATERIALS HAS BEEN DEFINED EITHER BY MANUFACTURER'S NAME AND CATALOG NUMBER OR BY REFERENCE TO RECOGNIZED INDUSTRY STANDARDS.

UNLESS THE PRECISE COLOR AND PATTERN IS SPECIFICALLY DESCRIBED IN THE CONTRACT DOCUMENTS, WHENEVER A CHOICE OF COLOR OR PATTERN IS AVAILABLE IN A SPECIFIED PRODUCT, SUBMIT ACCURATE COLOR CHARTS AND PATTERN CHARTS TO THE PROJECT ARCHITECT FOR HIS/HER REVIEW AND SELECTION. VERIFY PRIOR TO BIDDING. THAT ALL SPECIFIED ITEMS WILL BE AVAILABLE IN THE TIME FOR INSTALLATION DURING ORDERLY AND TIMELY PROGRESS OF THE WORK. IN THE EVENT THAT A SPECIFIED ITEM WILL NOT BE AVAILABLE. NOTIFY THE ARCHITECT PRIOR TO SUBMITTING BID.

THE ARCHITECT WILL CONSIDER PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT AND METHODS ONLY WHEN SUCH SPECIFIED MATERIALS ARE UNAVAILABLE OR METHODS ARE INAPPROPRIATE AS SPECIFIED.

DO NOT SUBSTITUTE MATERIALS OR EQUIPMENT, UNLESS SUCH SUBSTITUTION HAS BEEN SPECIFICALLY APPROVED FOR THIS WORK BY THE ARCHITECT.

SUBSTITUTION PROCEDURE

CONTRACTORS REQUESTING SUBSTITUTES OR "EQUALS" TO ITEMS ON PLANS OR IN SPECIFICATIONS MUST FOLLOW THE PROCEDURES SET

1. REQUESTS FOR SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT BY THE GC. SUBCONTRACTORS ARE NOT TO SUBMIT TO THE

ARCHITECT DIRECTLY. 2. THE REQUEST FOR SUBSTITUTION MUST BE ACCOMPANIED BY A COMPLETE DESCRIPTION OF THE PROPOSED EQUIPMENT AND/OR

MATERIAL SUCH AS CUT SHEETS OR SAMPLES TO ENABLE THE ARCHITECT TO MAKE A THOROUGH COMPARISON WITH THE SPECIFIED ITEM.

3. THE ARCHITECT WILL, UPON SUCH REQUEST, EVALUATE THE PROPOSED SUBSTITUTION ON THE BASIS OF ADVERTISED TECHNICAL PERFORMANCE, SUITABILITY, SIZE, OR OTHER CONSIDERATIONS AND INFORM THE GC OF HIS/HER DECISION.

4. IN ORDER TO FACILITATE THE EVALUATION PROCESS, THE GC SHOULD SUBMIT DOCUMENTATION TO SUPPORT THE PROPOSED SUBSTITUTION ON THE BASIS OF WARRANTIES, COST DIFFERENCE, AND EXPECTED SERVICE LIFE AS COMPARED TO THE SPECIFIED EQUIPMENT. PROCUREMENT TIME WILL NOT NORMALLY BE CONSIDERED AS JUSTIFICATION FOR SUBSTITUTION REQUESTS. IN THE EVENT OF PROCUREMENT TIME BEING THE FACTOR, THE GC SHALL PROVIDE THE CM OR ARCHITECT WITH THE SPECIFIC INFORMATION ALLOWING THE CM OR ARCHITECT TO EXPLORE THE DELAY AND TO ATTEMPT TO RESOLVE THE PROBLEM WITH A SUBSTITUTION.

5. ONLY AFTER THE ARCHITECT ACCEPTS AND PROVIDES WRITTEN APPROVAL, WILL THE GC ASSUME AUTHORITY TO PROCEED WITH THE PROPOSED SUBSTITUTION.

GENERAL CONDITIONS

<u>AGREEMENT</u>

THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE DESIGN TEAM (OWNER, ARCHITECT, AND ENGINEER) ARE INSTRUMENTS OF THE DESIGN TEAM'S SERVICE THROUGH WHICH THE WORK TO BE EXECUTED BY THE CONTRACTOR IS DESCRIBED. NEITHER THE CONTRACTOR, SUBCONTRACTOR, SUB-SUBCONTRACTOR, MATERIAL OR EQUIPMENT SUPPLIER SHALL OWN OR CLAIM A COPYRIGHT IN THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT UNLESS OTHERWISE INDICATED, THE DESIGN DEPARTMENT SHALL BE DEEMED THE AUTHOR OF THEM AND WILL RETAIN ALL COMMON LAW, STATUTORY, AND OTHER RESERVED RIGHTS, IN ADDITION TO THE COPYRIGHT. THE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT, AND COPIES THEREOF FURNISHED TO THE CONTRACTOR ARE FOR USE SOLELY WITH RESPECT TO THIS PROJECT.

SHOULD THE DRAWINGS AND SPECIFICATIONS BE CONTRADICTORY, OR SHOULD THERE BE ERRORS IN EITHER, THE CONTRACTOR SHALL REFER THE MATTER TO THE ARCHITECT FOR EXPLANATION AND SHALL ABIDE BY THEIR DECISION.

THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS, VERIFY FIELD CONDITIONS, AND SHALL CAREFULLY COMPARE SUCH FIELD MEASUREMENTS AND CONDITIONS AND OTHER INFORMATION KNOWN TO THE CONTRACTOR WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ARCHITECT AT ONCE.

PERMITS, FEES, AND NOTICES

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SECURE AND PAY FOR THE BUILDING PERMIT AND OTHER PERMITS AND GOVERNMENTAL FEES. LICENSES AND INSPECTIONS NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK WHICH ARE CUSTOMARILY SECURED AFTER EXECUTION OF THE CONTRACT AND WHICH ARE LEGALLY ACQUIRED WHEN BIDS ARE RECEIVED OR NEGOTIATIONS CONCLUDED. A COPY OF SUCH SHALL BE FURNISHED TO THE OWNER.

THE CONTRACTOR SHALL COMPLY WITH AND GIVE NOTICE AS REQUIRED BY LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON PERFORMANCE OF THE WORK.

ALL WORK IS TO BE PERFORMED IN ACCORDANCE WITH ALL GOVERNING CODES, ORDINANCES, AND AUTHORITIES HAVING JURISDICTION INCLUDING BUT NOT LIMITED TO ACCESSIBILITY CODES.

WARRANTY

THE CONTRACTOR WARRANTS TO THE OWNER THAT MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT WILL BE OF GOOD QUALITY AND NEW UNLESS OTHERWISE REQUIRED OR PERMITTED BY THE CONTRACT DOCUMENTS, THAT THE WORK WILL BE FREE FROM DEFECTS NOT INHERENT IN THE QUALITY REQUIRED OR PERMITTED. AND THAT THE WORK WILL CONFORM WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS. WORK NOT CONFORMING TO THESE REQUIREMENTS, INCLUDING SUBSTITUTIONS NOT PROPERLY APPROVED AND AUTHORIZED MAY BE CONSIDERED DEFECTIVE. WARRANTY SHALL COMMENCE UPON PROVIDING USE AND OCCUPANCY PERMITS TO THE OWNER AND SHALL BE IN EFFECT FOR THE PERIOD DESCRIBED IN THE CONTRACT BUT NO LESS THAN ONE YEAR.

INSURANCE

THE CONTRACTOR SHALL PURCHASE AND MAINTAIN ALL FORMS OF INSURANCE SET FOR IN THE CONTACT AND REQUIRED BY THE CITY AND OWNER. A COPY OF THE INSURANCE CERTIFICATE IS TO BE PROVIDED TO THE OWNER FOR THEIR RECORDS.

END OF SECTION 00 00 00

DIVISION 01 - GENERAL REQUIREMENTS

THE SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO: CONSTRUCTION OF 16 SINGLE-FAMILY RESIDENTIAL TOWNSHOUSES BASED UPON THE WORK DESCRIBED IN THESE DOCUMENTS, INSTALLING OF ALL OWNER FURNISHED/SELECTED FINISHES, CASEWORK, APPLIANCES, ETC. AND MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND EQUIPMENT, ASSOCIATED SITE WORK, AND COMPLETE PROJECT CLOSEOUT.

PRIOR TO MAKING ANY VARIATIONS FROM THE DRAWINGS AND/OR SPECIFICATIONS THAT MAY BE DEEMED NECESSARY, THE CONTRACTOR SHALL GIVE THE ARCHITECT WRITTEN NOTICE SPECIFYING THE VARIATION PROPOSED AND REQUESTING APPROVAL

CHANGES IN THE WORK MAY BE ACCOMPLISHED AFTER EXECUTION OF THE CONTRACT, AND WITHOUT INVALIDATING THE CONTRACT, BY CHANGE ORDER, CONSTRUCTION CHANGE DIRECTIVE OR ORDER FOR A MINOR CHANGE IN THE WORK. EACH CONTRACTOR OR SUB CONTRACTOR SHALL REVIEW THE EQUIPMENT SCHEDULE FOR ITEMS AFFECTING HIS PORTION OF THE WORK. HE

SHALL INCLUDE IN HIS PROPOSAL ANY AND ALL LABOR OR MATERIAL AS REQUIRED TO PROVIDE THE COMPLETE PROJECT. THE GC IS TO BE FAMILIAR WITH ALL OWNER CRITERIA, SPECIAL WORKING CONDITIONS PERTAINING TO BARRICADES, NOISE, DUST, TRASH

REMOVAL ETC. COORDINATE WITH THE LANDLORD. ANY WORK WHICH IS REQUIRED TO TAKE PLACE AT NIGHT OR DURING OFF HOURS SHALL

BE VERIFIED WITH THE LANDLORD, AND ITS COST TO BE INCLUDED IN THE BID. THE CONTRACTOR IS TO PROVIDE SECURITY GUARD DURING

WITHIN FIVE (5) DAYS OF THE AWARD OF THE CONTRACT THE GC SHALL PROVIDE THE ARCHITECT WITH A PROPOSED SCHEDULE INDICATING THE START AND COMPLETION DATES OF EACH STAGE OF THE WORK BY TRADE. AT THE SAME TIME THE CONTRACTOR SHALL ALSO SUBMIT TO THE ARCHITECT DOCUMENTATION INDICATING ORDERING AND DELIVERY DATES OF CRITICAL ITEMS. ANY REQUESTS FOR ADDITIONAL TIME

THE CONTRACTOR SHALL MAINTAIN AT THE SITE A SET OF REPRODUCIBLE AND SPECIFICATIONS THAT SHALL BE UPDATED AS WORK PROGRESSES, INDICATING ANY CHANGES, DEVIATION OR ALTERATIONS AND SHALL BECOME "RECORD" DRAWINGS TO

MUST BE SUBMITTED IN WRITING AND HAVE THE ARCHITECT'S WRITTEN AUTHORIZATION.

BE TURNED OVER TO THE OWNER AT THE COMPLETION OF THE WORK.

THE CONTRACTOR SHALL DILIGENTLY PROSECUTE THE WORK TO COMPLETION AND SHALL AT ALL TIME GIVE HIS PERSONAL SUPERVISION AND ATTENTION THERE TO AND MAINTAIN A COMPETENT SUPERINTENDENT AND NECESSARY FOREMAN TO ACT FOR HIM. PROVIDE SUFFICIENT AND SATISFACTORY FORCES REQUIRED TO WORK TO ENSURE THE PROSECUTION OF THE WORK IN COMPLETION TO MEET AGREED UPON TURN OVER DATE, NEGLECT OR FAILURE TO FURNISH SUCH FORCES OR MEET REQUIRED DATES SHALL BE GROUNDS OF TERMINATION OF THE AGREEMENT, THE ARCHITECT AT HIS/HER OPTION MAY FURNISH ADDITIONAL FORCES AT THE CONTRACTORS EXPENSE TO MEET THE SCHEDULE AND COMPLETION DATE AND/OR WITH LEGAL NOTICE RECOVER DAMAGES ARISING FROM SUCH DELAYS. INCLUDING BUT NOT LIMITED TO RENT CHARGES.

THE WORK SHALL BE LAID OUT FROM DIMENSIONS SHOWN ON THE DRAWINGS ONLY. DO NOT SCALE THE DRAWINGS. THE CONTRACTOR SHALL WORK FROM THE MOST RECENT DRAWINGS SUPPLIED BY THE DESIGN DEPARTMENT. WORK SHALL BE PERFORMED BASED UPON OWNER AND CITY APPROVED PLANS ONLY AFTER WRITTEN DIRECTION BY THE ARCHITECT.

VERIFY ALL LINES, LEVELS, INTERFERENCES, FIELD DIMENSIONS AND CONDITIONS WITH THE DRAWINGS AND REPORT ANY ERRORS. OMISSIONS OR DISCREPANCIES TO THE CM OR ARCHITECT PRIOR TO COMMENCING WORK. THE GC IS TO REPORT TO THE CM OR ARCHITECT ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK. FAILURE TO REPORT TO THE CM OR ARCHITECT FOR INTERPRETATION SUCH CONDITIONS OR COVERING OVER A CONDITION WHICH SUBSEQUENTLY CAUSES ANY DELAY OR ADDITIONAL COST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL BE HELD FOR ANY DAMAGES RESULTING THERE FROM.

ANY CONFLICT BETWEEN DETAIL, DIMENSION, MATERIAL OR SPECIFICATION IS TO BE ADDRESSED TO THE CM OR ARCHITECT FOR INTERPRETATION. ANY SUCH CONFLICT NOT SO RESOLVED AND CORRECTION IS LATER REQUIRED SHALL BE AT THE CONTRACTORS EXPENSE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS LAYOUT AND FOR THAT OF HIS SUB-TRADES. ALL DIMENSIONS INDICATED AS HOLD DIMENSIONS SHALL BE MAINTAINED. ANY VARIANCES FROM THESE WILL BE AT THE RISK OF THAT TRADE OR CONTRACTOR. VERIFY ANY EQUIPMENT CLEARANCES PRIOR TO LAYOUT, HE SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO OR ADDITIONAL COST FOR FAILURE TO DO SUCH LAYOUT. PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY ALL OVERALL DIMENSIONS, COLUMN LOCATIONS AND REPORT THESE TO THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE WORK OF HIS FORCES WITH SUB-TRADES, AND THE OWNER. ANY FAILURE TO PROPERLY COORDINATE WHICH RESULTS IN ADDITIONAL COST INCLUDING ANY DEMOLITION OF CONSTRUCTION IN PLACE SHALL BE BOURNE BY THE CONTRACTOR.

ALL MATERIALS SPECIFIED IS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURES INSTRUCTIONS AND SPECIFICATIONS. GC IS TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH THE DOCUMENTS. THE OWNER AND IT'S REPRESENTATIVES ARE THE SOLE INTERPRETER. ARBITER OF THE DOCUMENTS. ANY DEVIATION FROM THE INTENT OF THE DOCUMENTS, WITHOUT THE ARCHITECT'S APPROVAL IS AT THE CONTRACTOR'S OWN RISK AND MAY RESULT IN CORRECTION AT THE CONTRACTOR'S EXPENSE (MATERIALS AND LABOR).

ALL FINISHES, CASEWORK, FIXTURES, APPLIANCES SHALL BE SELECTED AND COORDINATED WITH THE OWNER AND SHALL BE INCLUDED IN THE CONTRACTOR'S SCOPE OF WORK, BID, AND FINAL CONTRACT SUM.

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE REQUIREMENTS FOR ALL FINISHES, CASEWORK, FIXTURES, APPLICIANCES, AND EQUIPMENT AND SHALL BE RESPONSIBLE FOR INSTALLING THE SAME.

THE GC SHALL REVIEW DOCUMENTS TO DETERMINE THE EXTENT OF ITEMS SELECTED BY THE OWNER.

TEMPORARY FACILITIES

FLECTRIC. WATER. TOILET. TELEPHONE. HEAT. AND ANY OTHER SERVICE REQUIRED IN THE PERFORMANCE OF THE CONTRACT SHALL BE FURNISHED AND PAID FOR BY THE CONTRACTOR UNLESS INDICATED OTHERWISE BY THE CM OR ARCHITECT.

CLEANING

THROUGHOUT THE PERIOD OF THEIR ON-SITE ACTIVITY, EACH CONTRACTOR AND SUBCONTRACTOR SHARES THE RESPONSIBILITY TO MAINTAIN THE BUILDING AND SITE IN AN ORDERLY AND CLEAN CONDITION.

EACH CONTRACTOR SHALL PICK UP AND REMOVE ALL DEBRIS RESULTING FROM HIS/HER WORK AND SHALL SWEEP AND CLEAN HIS/HER SHARE OF THE GENERAL DUST AND DIRT CREATED BY WORKMEN AND GENERAL ACTIVITY. TRASH AND CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE CONSTRUCTION SITE ON A DAILY BASIS IN A MANNER APPROVED BY THE LANDLORD.

THE CONTRACTOR SHALL MAKE PROVISIONS FOR THE STORAGE AND REMOVAL OF CONSTRUCTION DEBRIS AND SHALL PAY ALL COSTS AS THEY ARISE FOR SUCH PROVISIONS.

THE CONTRACTOR SHALL SCHEDULE FINAL CLEANING TO ENABLE THE OWNER'S OPERATION TEAM TO ACCEPT A COMPLETELY CLEAN

"CLEAN," FOR THE PURPOSE OF THIS ARTICLE, AND EXCEPT AS MAY BE SPECIFICALLY PROVIDED OTHERWISE, SHALL BE INTERPRETED MEANING THE LEVEL OF CLEANLINESS GENERALLY PROVIDED BY SKILLED CLEANERS USING COMMERCIAL QUALITY BUILDING MAINTENANCE **EQUIPMENT AND MATERIALS.** THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ALL INTERIOR AND EXTERIOR SURFACES OF THE FIXTURES INCLUDING THE GLASS.

DO NOT USE ANY SOLVENT OR ABRASIVES OF ANY TYPE TO CLEAN FIXTURES, PANELING, MOLDINGS OR TRIM WITHOUT FIRST OBTAINING APPROVAL OF THE CM OR ARCHITECT, USE NO SCENTED CLEANING AGENTS.

VISUALLY INSPECT INTERIOR SURFACES AND REMOVE ALL TRACES OF SOIL, WASTE MATERIALS, SMUDGES, AND OTHER FOREIGN MATTER.

REMOVE ALL TRACES OF SPLASHED MATERIAL FROM ADJACENT SURFACES. REMOVE PAINT DROPPINGS, SPOTS, STAINS, AND DIRT FROM FINISHED SURFACES.

CLEAN GLASS INSIDE AND OUTSIDE.

PROJECT CLOSEOUT

THE CONTRACTOR WILL COMPLY WITH PROCEDURES STATED IN THE AGREEMENT FOR ISSUANCE OF CERTIFICATE OF SUBSTANTIAL COMPLETION.

A PUNCH LIST SHALL BE COMPLETED BY THE ARCHITECT AND PRESENTED TO THE CONTRACTOR AS NECESSARY. UPON RECEIPT, THE CONTRACTOR SHALL HAVE FIFTEEN (15) DAYS TO COMPLETE THE LIST. THE PUNCH LIST IN NO WAY LIMITS THE WARRANTY.

UPON COMPLETION OF THE PROJECT THE CONTRACTOR SHALL SUPPLY ALL CLOSE OUT DOCUMENTS TO THE OWNER WITH A TRANSMITTAL LETTER CONTAINING THE DATE, PROJECT NAME AND NUMBER, THE CONTRACTOR'S NAME AND ADDRESS, AND A LIST OF DOCUMENTS

CLOSEOUT DOCUMENTS ARE TO INCLUDE:

COPY OF CERTIFICATE OF OCCUPANCY, AS BUILDS, CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA G704), FINAL LIEN WAIVER RELEASE FOR GC (AIA F706A), CONTRACTOR'S AFFIDAVIT MUST BE FILLED OUT AND NOTARIZED, FINAL LIEN WAIVER RELEASES FOR ALL SUBS AND SUPPLIERS, AIR BALANCE TEST REPORT, OWNER'S MANUALS FOR ALL EQUIPMENT INSTALLED BY CONTRACTOR, MAINTENANCE MANUALS FOR ALL EQUIPMENT INSTALLED BY CONTRACTOR, ALL WARRANTIES FOR EQUIPMENT INSTALLED BY THE CONTRACTOR, A LIST OF SUBCONTRACTORS AND SUPPLIERS, CERTIFICATE OF INSURANCE, PUNCH LIST SIGNED OFF BY THE ARCHITECT

ALL CLOSEOUT DOCUMENTS MUST BE SUPPLIED TO THE OWNER PRIOR TO REQUEST FOR FINAL PAYMENT.

END OF SECTION 01 00 00

DIVISION 02 - EXISTING CONDITIONS

REFER TO SECTION 01 00 00 - GENERAL REQUIREMENTS REGARDING STORAGE OF THE OWNER'S EXISTING ITEMS.

REFER TO SECTION 01 00 00 - GENERAL REQUIREMENTS REGARDING SCOPE OF WORK.

REFER TO SECTION 01 00 00 - GENERAL REQUIREMENTS REGARDING TEMPORARY CONSTRUCTION ENCLOSURES.

REFER TO SECTION 01 00 00 - GENERAL REQUIREMENTS REGARDING CLEANING.

DO NOT INTERFERE WITH USE OF ADJACENT AREAS. MAINTAIN FREE AND SAFE PASSAGE TO AND FROM. CARRY OUT DEMOLITION WORK TO CAUSE AS LITTLE INCONVENIENCE TO ADJACENT OCCUPIED BUILDING AREAS AS POSSIBLE.

CEASE OPERATIONS AND NOTIFY CM OR ARCHITECT IMMEDIATELY IF SAFETY OF STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT THE STRUCTURE. DO NOT RESUME OPERATIONS UNTIL SAFETY IS RESTORED.

PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, GUARDRAILS, AND WARNING SIGNS AS REQUIRED BY APPLICABLE REGULATORY ADVISOR TO PROTECT OCCUPANTS OF BUILDINGS AND WORKERS.

PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. IDENTIFY SERVICE LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.

REMOVE SALVAGE AND DEBRIS FROM THE DEMISED SPACE AS IT ACCUMULATES. DO NOT SELL, BURN, OR OTHERWISE DISPOSE OF SALVAGE AND DEBRIS ON THE SITE UNLESS DIRECTED OTHERWISE BY OWNER.

MAINTAIN EXITING REQUIREMENTS AT ALL TIMES.

MAINTAIN SECURITY OF EXISTING BUILDINGS WITH TEMPORARY DOORS, CLOSER, AND LOCKSET. WHERE AN OPENING IS MADE IN A RATED WALL, PROVIDE TEMPORARY DOOR, FRAME, AND HARDWARE WITH APPROPRIATE RATING FOR WALL CONSTRUCTION.

EXECUTE DEMOLITION WORK TO ENSURE SAFETY OF PERSONS, AND ADJACENT PROPERTY AGAINST DAMAGE BY SETTLEMENT, FALLING DEBRIS OR OTHER CAUSES IN CONNECTION WITH THIS WORK.

DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.

REPAIR ALL DEMOLITION PREFORMED IN EXCESS OF THAT REQUIRED.

REMOVE DEMOLISHED MATERIALS, TOOLS, AND EQUIPMENT FROM SITE UPON COMPLETION OF WORK. LEAVE SITE IN AN ACCEPTABLE CONDITION.

END OF SECTION 02 00 00

DIVISION 03 - CONCRETE

SECTION 03 30 00 - CONCRETE

PART 1 – GENERAL

- A. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR CONCRETE MIX DESIGN, REINFORCING, MATERIALS, AND TESTING
- REQUIREMENTS AND EXTENT OF CONCRETE WORK SHOWN ON DRAWINGS.
- B. THIS SECTION INCLUDES THE FOLLOWING:
- SLABS-ON-GRADE 2. FILL FOR STEEL DECK
- 3. VAPOR RETARDER
- 1.2 SUBMITTALS
- A. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR SUBMITTAL AND SHOP DRAWING REQUIREMENTS

PART 2 - PRODUCTS

- 2.1 CONCRETE AND REINFORCING MATERIALS
- A. REFER TO STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR CONCRETE, REINFORCING, AND RELATED MATERIALS. 2.2 RELATED MATERIALS
- A. VAPOR RETARDER: POLYETHYLENE SHEET, ASTM E 1745, CLASS A, NOT LESS THAN 10 MILS THICK. PROVIDE MANUFACTURER RECOMMENDED TAPE AT JOINTS AND SEAMS, MASTIC AND ACCESSORIES AT ALL PENETRATIONS AND PERIMETER CONDITIONS.
- B. EXPANSION- AND ISOLATION-JOINT-FILLER STRIPS: ASTM D 1751, ASPHALT-SATURATED CELLULOSIC FIBER.
- C. DOVETAIL ANCHOR SLOTS: CAST-IN, HOT-DIP GALVANIZED-STEEL SHEET, NOT LESS THAN 0.034 INCH THICK, WITH BENT TAB ANCHORS.

PART 3 - EXECUTION

- A. REFER TO STRUCTURAL DRAWINGS AND OTHER TRADES FOR ADDITIONAL REQUIREMENTS INCLUDING INSTALLATION OF FORMS,
- CONSTRUCTION JOINTS, CONTRACTION/CONTROL JOINTS, EMBEDDED ITEMS, REINFORCING, CONCRETE PLACEMENT, SURFACE FINISHES, FLOOR FLATNESS/LEVELNESS. CURING AND PROTECTION. B. INSTALL CAST-IN-PLACE CONCRETE SLAB LEVEL WITH ADJACENT CONCRETE SURFACES UNLESS DIRECTED OTHERWISE. ALL CONCRETE
- SLABS SHALL BE PLANE WITH A MAXIMUM TOLERANCE OF 1/8" IN 10" AND SHALL NOT VARY AT ANY POINT MORE THAN 1/8" ABOVE OR C. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVELY HOT OR COLD TEMPERATURES AND MAINTAIN WITH
- MINIMAL MOISTURE LOSS AT A RELATIVELY CONSTANT TEMPERATURE FOR A PERIOD OF TIME NECESSARY FOR THE EARLY HYDRATION OF THE CEMENT AND PROPER HARDENING OF THE CONCRETE. D. PROVIDE CONTROL/CONTRACTION AND CONSTRUCTION JOINTS AS INDICATED ON DRAWINGS. SUBMIT JOINT LAYOUT PLAN TO ARCHITECT FOR REVIEW AT ALL EXPOSED CONCRETE SURFACES.
- 3.2 SLAB FINISHES A. SCRATCH FINISH: APPLY SCRATCH FINISH TO SLAB SURFACES TO RECEIVE CONCRETE FLOOR TOPPING OR MORTAR SETTING BEDS FOR
- TILE, PORTLAND CEMENT TERRAZZO, AND OTHER BONDED APPLIED CEMENTITIOUS FINISH FLOORING MATERIAL, AND WHERE INDICATED. B. FLOAT FINISH: APPLY FLOAT FINISH TO SLAB SURFACES TO RECEIVE TROWEL FINISH AND OTHER FINISHES AS SPECIFIED; SLAB SURFACES TO BE COVERED WITH MEMBRANE OR ELASTIC WATERPROOFING, MEMBRANE OR ELASTIC ROOFING, OR SAND-BED TERRAZZO; AND
- C. TROWEL FINISH: APPLY A TROWEL FINISH TO SLAB SURFACES EXPOSED TO VIEW AND SLAB SURFACES TO BE COVERED WITH RESILIENT
- D. TROWEL AND FINE BROOM FINISH: WHERE CERAMIC OR QUARRY TILE IS TO BE INSTALLED WITH THIN-SET MORTAR, APPLY A TROWEL FINISH, THEN IMMEDIATELY FOLLOW BY SLIGHTLY SCARIFYING THE SURFACE WITH A FINE BROOM. E. NONSLIP BROOM FINISH: APPLY A NONSLIP BROOM FINISH TO EXTERIOR CONCRETE PLATFORMS, STEPS, AND RAMPS, AND ELSEWHERE AS
- F. FLATNESS AND LEVELNESS: REFER TO STRUCTURAL DRAWINGS FOR FLOOR FLATNESS (FF) AND FLOOR LEVELNESS (FL) CRITERIA. THE
- CONTRACTOR SHALL USE WHATEVER MEANS AND METHODS ARE NECESSARY TO ACHIEVE THE SPECIFIED FF AND FL CRITERIA. 3.3 FIELD QUALITY CONTROL AND TESTING

FLOORING, CARPET, CERAMIC OR QUARRY TILE, PAINT, OR ANOTHER THIN FILM-FINISH COATING SYSTEM.

A. THE OWNER WILL EMPLOY A TESTING LABORATORY TO PERFORM TESTS, INSPECT WORK AND SUBMIT TEST REPORTS. B. REFER TO THE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR FIELD QUALITY CONTROL AND TESTING REQUIREMENTS.

END OF SECTION 03 30 00

(SPECIFICATIONS CONTINUE ON NEXT SHEET)

4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

PROJECT NAME

215-483-1915

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

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SYSTEMS

BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 **EXTON, PA 19341** 610-254-9140

CONTRACTOR ACKNOWLEDGEMENT:

By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that: (a) it has thoroughly reviewed <u>all</u> of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope; (b) it has verified that the information used is accurate and complete: (c) it will report any inaccurate or incomplete information to the project architect immediately

upon becoming aware of the error or omission; (d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information

finalizing their bids.

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to



REVISIONS NO. DATE ISSUE

RAWING TITLE

CALE: 12" = 1'-0" | DRAWN BY: 09/11/20 | CHECKED BY: DI

SHEET NO.

SPECIFICATIONS (CONT'D)

SECTION 04 20 00 - UNIT MASONRY

1.3 PROJECT CONDITIONS

PART 1 – GENERAL

- A. THIS SECTION INCLUDES THE FOLLOWING:
- BRICK MASONRY
- 1.2 SUBMITTALS
- A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED IN SPECIFICATIONS AND DRAWINGS.
- B. SAMPLES FOR SELECTION: FOR EACH TYPE AND COLOR INDICATED ON DRAWINGS. ${\sf C.}$ MIX DESIGNS: FOR EACH TYPE OF MORTAR AND GROUT. INCLUDE DESCRIPTION OF TYPE AND PROPORTIONS OF INGREDIENTS.
- A. DURING CONSTRUCTION, COVER TOPS OF WALLS, PROJECTIONS, AND SILLS WITH WATERPROOF SHEETING AT END OF EACH DAY'S WORK. COVER PARTIALLY COMPLETED MASONRY WHEN CONSTRUCTION IS NOT IN PROGRESS.
- B. PREVENT GROUT, MORTAR, AND SOIL FROM STAINING THE FACE OF MASONRY TO BE LEFT EXPOSED OR PAINTED, IMMEDIATELY REMOVE GROUT, MORTAR, AND SOIL THAT COME IN CONTACT WITH SUCH MASONRY.

PART 2 - PRODUCTS

2.1 BRICK TYPES

- A. FACE BRICK TEXTURE, COLOR, AND MANUFACTURER AS INDICATED ON DRAWINGS OR AS SELECTED BY ARCHITECT/OWNER.
- SIZE: MODULAR, UNLESS OTHERWISE NOTED ON DRAWINGS. . ASTM C216, GRADE SW, TYPE FBX AS APPLICABLE.
- B. CMU VENEER
- 1. TEXTURE, COLOR, AND MANUFACTURER AS INDICATED ON DRAWINGS OR AS SELECTED BY ARCHITECT/OWNER. SIZE: MODULAR, UNLESS OTHERWISE NOTED ON DRAWINGS. 3. ASTM C216, GRADE SW, TYPE FBX AS APPLICABLE.

2.2 MORTAR

- A. PREBLENDED, DRY MORTAR MIX: FURNISH DRY MORTAR INGREDIENTS IN FORM OF A PREBLENDED MIX.
- B. PIGMENTED MORTAR: USE COLORED CEMENT PRODUCT OR SELECT AND PROPORTION PIGMENTS WITH OTHER INGREDIENTS TO
- 1. COLOR AS INDICATED ON DRAWINGS OR AS SELECTED BY ARCHITECT/OWNER.
- 2.3 TIES AND ACHORS A. ADJUSTABLE ANCHORS FOR CONNECTING TO CONCRETE: DOVETAIL TABS FOR INSERTING INTO DOVETAIL SLOTS IN CONCRETE AND
- ATTACHED TO TIE SECTION; FORMED FROM 0.060-INCH THICK STEEL SHEET, GALVANIZED. B. ADJUSTABLE MASONRY-VENEER ANCHORS: PROVIDE SCREW-ATTACHED, MASONRY-VENEER ANCHORS THAT ALLOW VERTICAL
- ADJUSTMENT; FORMED FROM STEEL SHEET, GALVANIZED. 2.4 MISCELLANEOUS MASONRY ACCESSORIES
- A. WEEP/CAVITY VENT PRODUCTS: PROVIDE CELLULAR PLASTIC WEEP/VENT OR MESH WEEP/VENT
- B. EXPANSIONS JOINTS & SEALANT: PREMOLDED COMPRESSIBLE FILLER STRIPS/ BACKER RODS, AND SEALANT 1. SEALANT COLOR TO MATCH GROUT COLOR.

PART 3 - EXECUTION

3.1 ANCHORED MASONRY VENEERS

- A. FASTEN SCREW-ATTACHED ANCHORS THROUGH SHEATHING TO WALL FRAMING OR TO CONCRETE AND MASONRY BACKUP WITH METAL
- FASTENERS OF TYPE INDICATED. B. SPACE ANCHORS AS INDICATED, BUT NOT MORE THAN 16 INCHES O.C. VERTICALLY AND HORIZONTALLY. INSTALL ADDITIONAL ANCHORS
- WITHIN 12 INCHES OF OPENINGS AND AT INTERVALS, NOT EXCEEDING 8 INCHES, AROUND PERIMETER.
- 3.2 CONTROL AND EXPANSION JOINTS A. PROVIDE VERTICAL EXPANSION, CONTROL AND ISOLATION JOINTS IN MASONRY AT JUNCTIONS TO MASONRY, WHERE SHOWN AND REQUIRED, BUT NOT TO EXCEED 28'-0" SPACING, WITHIN 10 FEET OF ONE SIDE OF A CORNER, AT WALL OFFSETS, AT CHANGES IN WALL HEIGHT AND DIRECTLY BELOW SHELF ANGLES. BUILD IN RELATED MASONRY ACCESSORY ITEMS AS THE MASONRY WORK PROGRESSES.
- 3.3 FLASHING, WEEP HOLES, AND CAVITY VENTS A. INSTALL EMBEDDED FLASHING AND WEEP HOLES IN MASONRY AT SHELF ANGLES, LINTELS, LEDGES, OTHER OBSTRUCTIONS TO
- DOWNWARD FLOW OF WATER IN WALL, AND WHERE INDICATED. INSTALL CAVITY VENTS AT SHELF ANGLES, LEDGES, AND OTHER OBSTRUCTIONS TO UPWARD FLOW OF AIR IN CAVITIES, AND WHERE INDICATED.
- B. INSTALL WEEP HOLES IN EXTERIOR WYTHES AND VENEERS IN HEAD JOINTS OF FIRST COURSE OF MASONRY IMMEDIATELY ABOVE EMBEDDED FLASHING.
- C. SPACE WEEP HOLES 24 INCHES O.C. FOR BRICK, UNLESS OTHERWISE INDICATED

END OF SECTION 04 20 00

DIVISION 05 - METALS

SECTION 05 50 00 - METAL FABRICATIONS

PART 1 – GENERAL

- 1.1 SUMMARY A. THIS SECTION INCLUDES THE FOLLOWING:
 - . METAL STAIRS 2. METAL RAILINGS
- 3. ENTRY CANOPY 1.2 SUBMITTALS
- A. DELEGATED DESIGN SUBMITTAL: DESIGN OF METAL STAIRS, RAILINGS, ENTRY CANOPY AND ASSOCIATED COMPONENTS AND ATTACHMENTS, INCLUDING COMPREHENSIVE ENGINEERING ANALYSIS PREPARED AND SEALED BY A QUALIFIED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN JURISDICTION WHERE PROJECT IS LOCATED, ENGAGED BY THE CONTRACTOR, USING DESIGN CRITERIA INDICATED ON THE STRUCTURAL DRAWINGS AND APPLICABLE BUILDING CODES.
- B. SHOP DRAWINGS: SHOW FABRICATION AND INSTALLATION DETAILS FOR METAL FABRICATIONS SEALED BY A QUALIFIED PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN JURISDICTION WHERE PROJECT IS LOCATED, ENGAGED BY THE CONTRACTOR.

PART 2 - PRODUCTS

- 2.1 STAIRS AND RAILINGS
- A. DESIGN AND FABRICATE STAIRS, RAILINGS, AND ASSOCIATED COMPONENTS TO CONFORM TO INFORMATION ON DRAWINGS AND IN
- ACCORDANCE WITH APPLICABLE BUILDING CODES. FINAL DESIGN SHALL APPROVED BY OWNER. B. MATERIALS AND FINISHES: FINAL SELECTION OF MATERIALS AND FINISHES SHALL BE SELECTED BY OWNER.

END OF SECTION 05 50 00

DIVISION 06 - WOOD, PLASTICS, AND COMPOSITES

SECTION 06 10 00 - ROUGH CARPENTRY

PART 1 – GENERAL

- STRUCTURAL DRAWINGS SHALL GOVERN.
- A. REFER TO THE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. IN CASE OF CONFLICT, THE
- B. THIS SECTION INCLUDES THE FOLLOWING: . FRAMING WITH DIMENSION LUMBER.
- . WOOD FURRING, BLOCKING, CANTS, NAILERS, GROUNDS, AND PLYWOOD BACKING PANELS.
- 3. WOOD FRAMING, BLOCKING FOR INTERIOR WORK AS REQUIRED FOR ATTACHMENT OF FINISH CARPENTRY ITEMS AND OTHER
- 4. ROOFTOP EQUIPMENT BASES AND SUPPORT CURBS.
- 5. NAILS, SCREWS, BOLTS, AND FASTENERS FOR SECURING ITEMS OF ROUGH CARPENTRY
- 6. ALL OTHER ROUGH CARPENTRY ITEMS AS REQUIRED TO COMPLETE THE WORK OF THE CONTRACT NOT OTHERWISE SPECIFIED TO BE FURNISHED AND INSTALLED UNDER OTHER TRADE SECTIONS OF THOSE SPECIFICATIONS.
- 1.2 SUBMITTALS A. FOR DIMENSION LUMBER SPECIFIED TO COMPLY WITH MINIMUM ALLOWABLE UNIT STRESSES. INDICATE SPECIES AND GRADE SELECTED FOR EACH USE AND DESIGN VALUES APPROVED BY THE ALSC BOARD OF REVIEW. ROUGH CARPENTRY LUMBER SHALL HAVE A VISIBLE GRADE STAMP OF AN AGENCY CERTIFIED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA).

PART 2 - PRODUCTS

- 2.1 WOOD PRODUCTS, GENERAL
- A. LUMBER: DOCPS20 AND APPLICABLE RULES OF GRADING AGENCIES INDICATED.
- B. SPECIES AND GRADE: . IF NO GRADING AGENCY IS INDICATED, PROVIDE LUMBER THAT COMPLIES WITH THE APPLICABLE RULES OF ANY RULES-WRITING AGENCY CERTIFIED BY THE ALSC BOARD OF REVIEW.
- C. MAXIMUM MOISTURE CONTENT OF LUMBER: 19 PERCENT UNLESS OTHERWISE INDICATED.
- 2.2 WOOD-PRESERVATIVE-TREATED LUMBER A. PRESERVATIVE TREATMENT BY PRESSURE PROCESS: AWPAU1; USE CATEGORY UC2 FOR INTERIOR CONSTRUCTION NOT IN CONTACT WITH THE GROUND, USE CATEGORY UC3B FOR EXTERIOR CONSTRUCTION NOT IN CONTACT WITH THE GROUND, AND USE CATEGORY UC4A FOR ITEMS IN CONTACT WITH THE GROUND.
- B. TREATMENT SHALL BE FOR CLASS "A" FLAME SPREAD RATING. C. MARK LUMBER WITH TREATMENT QUALITY MARK OF AN INSPECTION AGENCY APPROVED BY THE ALSC BOARD OF REVIEW
- 1. FOR EXPOSED LUMBER INDICATED TO RECEIVE A STAINED OR NATURAL FINISH, MARK END OR BACK OF EACH PIECE OR OMIT MARKING AND PROVIDE CERTIFICATES OF TREATMENT COMPLIANCE ISSUED BY INSPECTION AGENCY.

a. CUT ENDS OF TREATED LUMBER SHALL BE REPAIRED WITH A FIELD APPLIED WOOD PRESERVATIVE TO RESTORE CONTINUITY

- OF TREATMENT. 2.3 FIRE-RETARDANT-TREATED MATERIALS
- A. FIRE-RETARDANT-TREATED LUMBER AND PLYWOOD BY PRESSURE PROCESS: WHERE FIRE-RETARDANT-TREATED MATERIALS ARE INDICATED AND REQUIRED BY CODE, USE PRODUCTS WITH A FLAME SPREAD INDEX OF 25 (UL CLASS FR-S) OR LESS WHEN TESTED
- ACCORDING TO UL TEST 723 OR ASTM E84. B. IDENTIFY FIRE-RETARDANT-TREATED WOOD WITH APPROPRIATE CLASSIFICATION MARKING OF QUALIFIED TESTING AGENCY.
- C. FOR EXPOSED ITEMS INDICATED TO RECEIVE A STAINED OR NATURAL FINISH, USE CHEMICAL FORMULATIONS THAT DO NOT BLEED THROUGH, CONTAIN COLORANTS, OR OTHERWISE ADVERSELY AFFECT FINISHES.
- D. DO NOT RIPSAW OR PLAN SURFACES OF FIRE-RETARDANT TREATED WOOD. CUT ENDS OF TREATED LUMBER SHALL BE REPAIRED WITH A FIELD APPLIED FIRE-RETARDANT TREATMENT TO RESTORE CONTINUITY OF TREATMENT.
- 2.4 DIMENSION LUMBER FRAMING A. NON-LOAD-BEARING INTERIOR PARTITIONS AND CEILING JOISTS: STANDARD, STUD, OR NO. 3 GRADE LUMBER OF ANY SPECIES,
- UNLESS INDICATED OTHERWISE ON STRUCTURAL DRAWINGS. B. LOAD-BEARING PARTITIONS, EXTERIOR WALL FRAMING, JOISTS, RAFTERS, AND OTHER FRAMING NOT LISTED ABOVE: AS INDICATED ON THE STRUCTURAL DRAWINGS.

- 2.5 MISCELLANEOUS LUMBER
- A. GENERAL: PROVIDE MISCELLANEOUS LUMBER INDICATED AND LUMBER FOR SUPPORT OR ATTACHMENT OF OTHER CONSTRUCTION.
- 2.6 PLYWOOD / OSB A. PLYWOOD / OSB SHEATHING AS INDICATED ON THE STRUCTURAL DRAWINGS.
- B. WHERE PLYWOOD WILL BE EXPOSED IN FINISHED WORK, PROVIDE MDO / EXT-APA PLYWOOD WITH MEDIUM DENSITY OVERLAY FACE
- EXPOSED AND GRADE C CONCEALED. C. WHERE PLYWOOD WILL BE CONCEALED BY OTHER WORK PROVIDE C-D PLUGGED / NT-APA, FIRE-RETARDANT TREATED, IN THICKNESS INDICATED OR, IF NOT INDICATED, NOT LESS THAN 1/2-INCH NOMINAL THICKNESS.
- A. GENERAL: FASTENERS SHALL BE OF SIZE AND TYPE INDICATED ON STRUCTURAL DRAWINGS. B. WHERE ROUGH CARPENTRY IS EXPOSED TO WEATHER, IN GROUND CONTACT, PRESSURE- PRESERVATIVE TREATED, OR IN AREA OF HIGH RELATIVE HUMIDITY, PROVIDE FASTENERS WITH HOT- DIP ZINC COATING COMPLYING WITH ASTM A 153/A 153M OR TYPE 304 STAINLESS STEEL

END OF SECTION 06 10 00

SECTION 06 16 00 - SHEATHING

PART 1 – GENERAL

- 1.1 SUMMARY A. REFER TO THE STRUCTURAL DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS. IN CASE OF CONFLICT, THE
- STRUCTURAL DRAWINGS SHALL GOVERN. B. THIS SECTION INCLUDES THE FOLLOWING:
- WALL SHEATHING. 2. FLOOR/ SUBFLOOR SHEATHING

PART 2 - PRODUCTS

ROOF SHEATHING.

- 2.1 PRESERVATIVE-TREATED PLYWOOD A. PRESERVATIVE TREATMENT BY PRESSURE PROCESS: AWPA U1; USE CATEGORY UC3 FOR EXTERIOR CONSTRUCTION. 2.2 FIRE-RETARDANT-TREATED PLYWOOD
- A. FIRE-RETARDANT-TREATED LUMBER AND PLYWOOD BY PRESSURE PROCESS: WHERE FIRE-RETARDANT-TREATED MATERIALS ARE INDICATED AND REQUIRED BY CODE, USE PRODUCTS WITH A FLAME SPREAD INDEX OF 25 (UL CLASS FR-S) OR LESS WHEN TESTED ACCORDING TO UL TEST 723 OR ASTM E84.
- A. GLASS-MAT GYPSUM SHEATHING: ASTM C 1177/1177M.
- 2.3 WALL SHEATHING . TYPE AND THICKNESS: REGULAR, 5/8 INCH THICK. PROVIDE TYPE X, 5/8" IN FIRE-RATED WALLS, UNLESS INDICATED OTHERWISE.
- A. PLYWOOD SUBFLOORING: EITHER DOC PS 1 OR DOC PS 2, EXPOSURE 1, STRUCTURAL I SINGLE-FLOOR PANELS OR SHEATHING, UNLESS INDICATED OTHERWISE.
- 2.5 ROOF SHEATHING A. PLYWOOD SHEATHING: EITHER DOC PS 1 OR DOC PS 2, EXTERIOR, STRUCTURAL I SHEATHING, UNLESS INDICATED OTHERWISE.
- 2.6 FASTENERS A. GENERAL: PROVIDE FASTENERS OF SIZE AND TYPE INDICATED ON STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- B. HOT-DIP GALVANIZED STEEL WHERE EXPOSED TO WEATHER, IN GROUND CONTACT, IN CONTACT WITH TREATED WOOD OR IN AREA OF HIGH RELATIVE HUMIDITY

PART 3 - EXECUTION

- 3.1 WOOD STRUCTURAL PANEL INSTALLATION
- A. GENERAL: COMPLY WITH APPLICABLE RECOMMENDATIONS IN APA FORM NO. E30, "ENGINEERED WOOD CONSTRUCTION GUIDE," FOR
- TYPES OF STRUCTURAL-USE PANELS AND AS INDICATED ON STRUCTURAL DRAWINGS AND SPECIFICATIONS.
- B. WALL AND ROOF SHEATHING: NAIL TO WOOD FRAMING. SCREW TO COLD-FORMED METAL FRAMING. C. FLOOR / SUBFLOOR SHEATHING: GLUE AND NAIL TO WOOD FRAMING.
- 3.2 GYPSUM SHEATHING INSTALLATION
- A. COMPLY WITH GA-253 AND WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. B. FASTEN GYPSUM SHEATHING TO WOOD FRAMING WITH NAILS OR SCREWS. SCREW TO COLD-FORMED METAL FRAMING.

END OF SECTION 06 16 00

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

SECTION 07 12 00 - THERMAL INSULATION

PART 1 – GENERAL

- A. THIS SECTION INCLUDES THE FOLLOWING: EXTRUDED POLYSTYRENE FOAM-PLASTIC BOARD.
- 2. GLASS-FIBER BLANKET.
- A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT

PART 2 - PRODUCTS

- 2.1 EXTRUDED POLYSTYRENE FOAM-PLASTIC BOARD A. EXTRUDED POLYSTYRENE BOARD INSULATION: RIGID CLOSED-CELL EXTRUDED, EXPANDED POLYSTYRENE, ASTM C 578, TYPE X, 15-PSI MINIMUM COMPRESSIVE STRENGTH; UNFACED; MAXIMUM FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF 25 AND 50.
- RESPECTIVELY, PER ASTM E 84, R-VALUE OF 5 BTU/(HR X SF X °F) AT 75°F (24°C) PER INCH. 2.2 GLASS-FIBER BLANKET
- A. GLASS-FIBER BLANKET, UNFACED: ASTM C 665, TYPE I; WITH MAXIMUM FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF 25 AND 50, RESPECTIVELY, PER ASTM E 84; PASSING ASTM E 136 FOR COMBUSTION CHARACTERISTICS. B. GLASS-FIBER BLANKET, KRAFT FACED: ASTM C 665, TYPE II (NONREFLECTIVE FACED), CLASS C (FACED SURFACE NOT RATED FOR
- FLAME PROPAGATION); CATEGORY 1 (MEMBRANE IS A VAPOR RETARDER). C. GLASS-FIBER SOUND ATTENUATION BLANKET, UNFACED: ASTM C 665, TYPE I; WITH MAXIMUM FLAME-SPREAD AND SMOKE-
- DEVELOPED INDEXES OF 10 AND 10. RESPECTIVELY, PER ASTM E 84; PASSING ASTM E 136 FOR COMBUSTION CHARACTERISTICS. 2.3 ACCESSORIES

A. INSULATION ANCHORS, SPINDLES, AND STANDOFFS. PART 3 - EXECUTION

- 3.1 INSTALLATION, GENERAL
- A. COMPLY WITH INSULATION MANUFACTURER'S WRITTEN INSTRUCTIONS APPLICABLE TO PRODUCTS AND APPLICATIONS
- B. PROVIDE AND INSTALL BUILDING INSULATION AT ALL EXTERIOR AND DEMISING WALLS. TAPE AND SEALER AS RECOMMENDED BY MANUFACTURER OF INSULATION WITH FIRE RESISTIVE AND PERM RATING EQUAL TO INSULATION.
- C. INSTALL INSULATION THAT IS UNDAMAGED, DRY, AND UNSOILED AND THAT HAS NOT BEEN LEFT EXPOSED TO ICE, RAIN, OR SNOW AT ANY TIME D. EXTEND INSULATION TO ENVELOP ENTIRE AREA TO BE INSULATED. FIT TIGHTLY AROUND OBSTRUCTIONS AND FILL VOIDS WITH
- INSULATION. REMOVE PROJECTIONS THAT INTERFERE WITH PLACEMENT. E. PROVIDE SIZES TO FIT APPLICATIONS AND SELECTED FROM MANUFACTURER'S STANDARD THICKNESSES, WIDTHS, AND LENGTHS APPLY SINGLE LAYER OF INSULATION UNITS UNLESS MULTIPLE LAYERS ARE OTHERWISE SHOWN OR REQUIRED TO MAKE UP TOTAL
- 3.2 INSTALLATION OF SLAB INSULATION A. ON VERTICAL SLAB EDGE AND FOUNDATION SURFACES, SET INSULATION UNITS USING MANUFACTURER'S RECOMMENDED
- ADHESIVE ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. 1. IF NOT OTHERWISE INDICATED, EXTEND INSULATION A MINIMUM OF 24 INCHES BELOW EXTERIOR GRADE LINE B. ON HORIZONTAL SURFACES, LOOSELY LAY INSULATION UNITS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
- STAGGER END JOINTS AND TIGHTLY ABUT INSULATION UNITS. 1. IF NOT OTHERWISE INDICATED, EXTEND INSULATION A MINIMUM OF 24 INCHES IN FROM EXTERIOR WALLS.
- 3.3 INSTALLATION OF INSULATION IN FRAMED CONSTRUCTION A. BLANKET INSULATION: INSTALL IN CAVITIES FORMED BY FRAMING MEMBERS ACCORDING TO THE FOLLOWING REQUIREMENTS
 - PLACE INSULATION IN CAVITIES FORMED TO PRODUCE A FRICTION FIT. MAINTAIN 3-INCH CLEARANCE OF INSULATION AROUND RECESSED LIGHTING FIXTURES NOT RATED FOR OR PROTECTED FROM
 - CONTACT WITH INSULATION.

END OF SECTION 07 12 00

07 13 26 - SELF-ADHERING SHEET WATERPROOFING PART 1 - GENERAL

A. SECTION INCLUDES: SELF-ADHERING SBS RUBBERIZED ASPHALT WATERPROOFING

PART 2 - PRODUCTS

THICKNESS OR TO ACHIEVE R-VALUE.

- A. PROVIDE HENRY BLUESKIN WP200 OR A COMPARABLE PRODUCT APPROVED BY ARCHITECT. A. SBS MODIFIED BITUMEN, SELF-ADHERING SHEET MEMBRANE WITH A CROSS-LAMINATED POLYETHYLENE FILM.
- 1. THICKNESS: 60 MILS THICK. B. PRIMER AND SEALANTS: PROVIDED TYPES REQUIRED AND APPROVED BY MANUFACTURER. C. DRAINAGE BOARDS: PREFABRICATED GEOCOMPOSITE DRAIN BOARD PROVIDED BY MANUFACTURER.

D. ACCESSORIES: SECUREMENT BARS, MOULDING STRIPS, AND DRAIN BOARD PLUGS AND NAILS. PART 3 - EXECUTION

- A. APPLY PRIMER IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS. APPLY WATERPROOF MEMBRANE TO PREPARED SURFACES. INSTALL PROTECTION BOARDS AND DRAINAGE BOARDS AS REQUIRED.

END OF SECTION 07 13 26

07 18 13 - PEDESTRIAN TRAFFIC COATINGS

TRAFFIC COAT

PART 1 - GENERAL

- A. THIS SECTION INCLUDES REQUIREMENTS FOR SUPPLYING LABOR, MATERIALS, TOOLS, AND EQUIPMENT TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS ARCHITECTURAL DIVISION AS SPECIFIED HEREIN INCLUDING, BUT NOT LIMITED TO, THE

 - 1 PRIMER
 - 2. REINFORCED PUMA FLASHING UNREINFORCED PUMA FIELD MEMBRANE
- 5. TOP COAT 1.2 ADMINISTRATIVE REQUIREMENTS A. PRE-INSTALLATION MEETINGS:
- 1. WHEN REQUIRED, AND WITH PRIOR NOTICE, A MANUFACTURER REPRESENTATIVE WILL MEET WITH THE NECESSARY PARTIES AT THE JOBSITE TO REVIEW AND DISCUSS PROJECT CONDITIONS AS IT RELATES TO THE INTEGRITY OF THE
 - B. INSTALLATION OBSERVATIONS: 1. ONSITE INSTALLATION OBSERVATIONS INCLUDE THE FOLLOWING PHASES:
 - A. SUBSTRATE VERIFICATION PRIOR TO SYSTEM INSTALLATION START

SYSTEM INSTALLATION START

SAMPLE WARRANTY

2. COPY OF WARRANTY CHECK LIST

SYSTEM TRAFFIC COATING INTEGRITY TEST

- 1.3 QUALITY ASSURANCE A. SINGLE SOURCE RESPONSIBILITY
 - 1. OBTAIN TRAFFIC COATING SYSTEM AND AUXILIARY MATERIALS INCLUDING PRIMER, FLASHINGS, AGGREGATE, AND CLEANER FROM A SINGLE TRAFFIC COATING SYSTEM MANUFACTURER REGULARLY ENGAGED IN THE MANUFACTURING AND SUPPLY OF THE SPECIFIED PRODUCTS.
- 2. VERIFY PRODUCT COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. B. MANUFACTURER QUALIFICATIONS: 1. TRAFFIC COATING SYSTEM MANUFACTURER SHALL DEMONSTRATE QUALIFICATIONS TO SUPPLY MATERIALS OF THIS
- SECTION BY CERTIFYING THE FOLLOWING: A. TRAFFIC COATING SYSTEM MANUFACTURER MUST NOT ISSUE WARRANTIES FOR TERMS LONGER THAN THEY HAVE BEEN MANUFACTURING/SUPPLYING SPECIFIED PRODUCTS FOR SIMILAR SCOPE OF WORK.
- 1. ONLY AUTHORIZED SUBCONTRACTOR(S) SHALL INSTALL THE TRAFFIC COATING SYSTEM.
- SPECIFIED IN THIS SECTION. ALLOW THE TRAFFIC COATING SYSTEM MANUFACTURER REPRESENTATIVE SITE ACCESS DURING INSTALLATION. CONTACT THE TRAFFIC COATING SYSTEM MANUFACTURER A MINIMUM OF TWO WEEKS PRIOR TO SCHEDULING A MEETING.

2. PERFORM WORK IN ACCORDANCE WITH THE TRAFFIC SYSTEM MANUFACTURER'S PUBLISHED LITERATURE AND AS

- A. PROVIDE THE FOLLOWING REQUESTED INFORMATION IN ACCORDANCE WITH SECTION SUBMITTAL PROCEDURES.
- B. ACTION SUBMITTALS:
- 1. PRODUCT DATA: A. MANUFACTURER'S GUIDE SPECIFICATION
- B. MANUFACTURER'S TECHNICAL DATA SHEETS MANUFACTURER'S DETAILS
- A. PRODUCT CERTIFICATION THAT THE SYSTEM COMPONENTS ARE SUPPLIED AND WARRANTED BY SINGLE SOURCE TRAFFIC COATING SYSTEM MANUFACTURER TO COMPLETE WORK AS SPECIFIED
- **MANUFACTURER** C. COPY OF TRAFFIC COATING SYSTEM MANUFACTURER'S CURRENT ISO CERTIFICATIONS

B. STATEMENT THAT INSTALLING SUBCONTRACTOR IS GOLD SEAL AUTHORIZED BY TRAFFIC COATING SYSTEM

- WARRANTY A. WARRANTY AND VERIFICATION DOCUMENTS AS REQUIRED BY THE TRAFFIC COATING SYSTEM MANUFACTURER.
- 1.5 QUALITY ASSURANCE A. SINGLE SOURCE RESPONSIBILITY:
- OBTAIN TRAFFIC COATING SYSTEM AND AUXILIARY MATERIALS INCLUDING PRIMER, FLASHINGS, AGGREGATE, AND CLEANER FROM A SINGLE TRAFFIC COATING SYSTEM MANUFACTURER REGULARLY ENGAGED IN THE MANUFACTURING AND SUPPLY OF THE SPECIFIED PRODUCTS.
- 2. VERIFY PRODUCT COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. B. MANUFACTURER QUALIFICATIONS: 1. TRAFFIC COATING SYSTEM MANUFACTURER SHALL DEMONSTRATE QUALIFICATIONS TO SUPPLY MATERIALS OF THIS SECTION BY CERTIFYING THE FOLLOWING:

A. TRAFFIC COATING SYSTEM MANUFACTURER MUST NOT ISSUE WARRANTIES FOR TERMS LONGER THAN THEY HAVE

- BEEN MANUFACTURING/SUPPLYING SPECIFIED PRODUCTS FOR SIMILAR SCOPE OF WORK. C. INSTALLER QUALIFICATIONS: . ONLY AUTHORIZED SUBCONTRACTOR(S) SHALL INSTALL THE TRAFFIC COATING SYSTEM.
- PERFORM WORK IN ACCORDANCE WITH THE TRAFFIC COATING SYSTEM MANUFACTURER'S PUBLISHED LITERATURE AND AS
- 3. CONTACT THE TRAFFIC COATING SYSTEM MANUFACTURER A MINIMUM OF TWO WEEKS PRIOR TO SCHEDULING A MEETING A. WARRANTY SUBMITTALS TO TRAFFIC COATING SYSTEM MANUFACTURER: 1. CONTACT TRAFFIC COATING SYSTEM MANUFACTURER SALES REPRESENTATIVE FOR A COMPLETE LIST OF REQUIRED
- DOCUMENTS AND PROCEDURES PRIOR TO MATERIAL PURCHASE. WARRANTIES SUBMITTED WITHOUT REQUIRED DOCUMENTS AND PROCEDURES COMPLETED MAY RESULT IN DELAY OR REJECTION OF WARRANTY REQUEST. B. SINGLE SOURCE WARRANTY:
 - 1. INSTALLING SUBCONTRACTOR WARRANTY: A. INSTALLING SUBCONTRACTOR MUST WARRANT THE SYSTEM AND INSTALLATION. PROVIDE MATERIAL AND LABOR COSTS
 - FOR REPAIR FOR A PERIOD OF TWO YEARS FROM THE DATE OF INSTALLATION COMPLETION AS A RESULT OF ANY OF FAULTY WORKMANSHIP 2. MANUFACTURER'S SINGLE SOURCE WARRANTY: A MATERIAL WARRANTY
 - INSTALLING SUBCONTRACTOR MUST BE AN AUTHORIZED SUBCONTRACTOR. MANUFACTURER MUST WARRANT THE MATERIAL AGAINST PRODUCT DEFECT FOR A PERIOD OF TEN (10) YEARS FROM DATE OF PURCHASE.
 - B. SYSTEM WARRANTY: INSTALLING SUBCONTRACTOR MUST BE AN AUTHORIZED SUBCONTRACTOR. 2. MANUFACTURER MUST WARRANT THE SYSTEM AND INSTALLATION. PROVIDE MATERIAL AND LABOR COSTS FOR

REPAIR FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF INSTALLATION COMPLETION AS A RESULT OF ANY OF

THE FOLLOWING: A. MANUFACTURING PRODUCT DEFECT

B. FAULTY WORKMANSHIP

A. MANUFACTURING PRODUCT DEFECT

- C. GOLD SEAL WARRANTY: INSTALLING SUBCONTRACTOR MUST BE A GOLD SEAL AUTHORIZED SUBCONTRACTOR. MANUFACTURER MUST WARRANT THE SYSTEM AND INSTALLATION. PROVIDE MATERIAL AND LABOR COSTS FOR
- REPAIR FOR A PERIOD OF TEN (10) YEARS FROM THE DATE OF INSTALLATION COMPLETION AS A RESULT OF ANY OF THE FOLLOWING:

- PART 2 PRODUCTS
- 2.1 MANUFACTURER A. ACCEPTABLE MANUFACTURERS:
 - 1. HENRY COMPANY
 - 999 N. PACIFIC COAST HIGHWAY, SUITE 800 EL SEGUNDO, CA 90245
 - HYPERLINK "HTTP://WWW.HENRY.COM" WWW.HENRY.COM
 - 2. BESSERN BUILDING PRODUCTS, INC 1400 NORTH PROVIDENCE ROAD
- MEDIA, PA 19063 (484) 234-5035
 - WWW.BESERN.CO
 - A. OBTAIN PUMADEQ AND AUXILIARY MATERIALS AS A SINGLE-SOURCE FROM THE MANUFACTURER TO ENSURE COMPATIBILITY AND COMPLIANCE WITH THE FOLLOWING REQUIREMENTS:

1. UNREINFORCED FIELD MEMBRANE; HAVING THE FOLLOWING REQUIREMENTS:

- A. POLYURETHANE MODIFIED METHYL METHACRYLATE (PUMA) TECHNOLOGY B. ELONGATION (ASTM D638): 283%
- MINIMUM APPLICATION TEMPERATURE: 20 °F SOLIDS CONTENT BY VOLUME (ASTM D1644): 100% VOLATILE ORGANIC CONTENT (VOC) (ASTM C1250): 0 G/L ADHESION (ASTM C1583): >425 PSI, SUBSTRATE FAILURE

G. TENSILE STRENGTH (ASTM D638): 1680 PSI

- A. DIBENZOYL PEROXIDE CATALYST POWDER (BPO) USED TO INITIATE CURING OF POLYURETHANE METHYL METHACRYLATE (PUMA) LIQUID RESINS; HAVING THE FOLLOWING TYPICAL PROPERTIES:
- 1. BASIS OF DESIGN: PUMADEQ CATALYST 2. PRIMER; CHOOSE FROM THE FOLLOWING: A. STANDARD PRIMER:

B. HENRY PUMADEQ SYSTEM (BASIS OF DESIGN):

- 1. PMMA PRIMER HAVING THE FOLLOWING TYPICAL PROPERTIES: a. BASIS OF DESIGN: PUMADEQ PRIMER 20
- b. COLOR(S): COLORLESS, CLOUDY
- 1. TWO-COMPONENT, EPOXY SEALER/PRIMER SPECIFICALLY FORMULATED TO SEAL WATER AND PREVENT VAPOR DRIVE AND MOISTURE EMISSION OVER SATURATED SUBSTRATES OR GREEN CONCRETE; HAVING THE FOLLOWING TYPICAL PROPERTIES: a. BASIS OF DESIGN:
 - HENRY GC EPOXY PRIMER (PARTS A AND B) b. COLOR(S): GRAY, RED
- 3. UNREINFORCED PUMA FIELD MEMBRANE:
- A. POLYURETHANE MODIFIED METHACRYLATE (PUMA); HAVING THE FOLLOWING TYPICAL PROPERTIES: 1. BASIS OF DESIGN: PUMADEQ FLEX 30SL 2. COLOR(S): WHITE, GRAY
- (SECTION CONTINUES ON NEXT SHEET)

4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

215-483-1915 **PROJECT NAME**

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122

JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103

CHADDS FORD, PA 19317 610-558-6050

215-755-9318

267-516-2234

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 **EXTON, PA 19341** 610-254-9140

CONTRACTOR ACKNOWLEDGEMENT:

By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that: (a) it has thoroughly reviewed all of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope; (b) it has verified that the information used is

information to the project architect immediately upon becoming aware of the error or omission; (d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been

(c) it will report any inaccurate or incomplete

caused by errors or omissions in the information

trades shall be reported to the architect prior to

accurate and complete;

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective

finalizing their bids	
SEAL:	

REVISIONS NO. DATE ISSUE

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SHEET NO.

09/11/20 | CHECKED BY: DI

PROJECT NO.

ON

4. TRAFFIC COAT: A. LIQUID APPLIED PUMA COATING: 1. ELASTOMERIC POLYURETHANE MODIFIED METHACRYLATE (PUMA) SPECIFICALLY DESIGNED AS AN AGGREGATE HOLDING TRAFFIC COAT FOR AREAS ANTICIPATING PEDESTRIAN TRAFFIC; HAVING THE FOLLOWING TYPICAL a. BASIS OF DESIGN: PUMADEQ GRIP 40 b. COLOR(S): CLEAR OR GRAY B. FILLER (OPTIONAL) FINELY GRADED FILLER POWDER, HAVING THE FOLLOWING TYPICAL PROPERTIES: a. BASIS OF DESIGN: HENRY FILLER b. COLOR: WHITE POWDER C. AGGREGATE: 1. DRY, CONTAMINATION FREE, SILICA SAND; HAVING THE FOLLOWING TYPICAL PROPERTIES: a. BASIS OF DESIGN: SILICA SAND b. SIEVE SIZE: #20-50, #12 SILICA OR NJ0-NJ00 A. POLY METHYL METHACRYLATE (PMMA) TOPCOAT SPECIFICALLY DESIGNED FOR AREAS REQUIRING LONG TERM COLOR STABILITY: BASIS OF DESIGN: HENRY DEQCOAT™ 50 COLOR(S): WHITE, GRAY, CLEAR OR CUSTOM B. AUXILIARY MATERIALS: 1. REINFORCED PUMA FLASHING: A. THIXOTROPIC POLYURETHANE MODIFIED METHACRYLATE (PUMA) SPECIFICALLY DESIGNED FOR USE AS A REINFORCED FLASHING; HAVING THE FOLLOWING TYPICAL PROPERTIES: BASIS OF DESIGN: PUMADEQ FLEX 31MV 2. COLOR(S): WHITE B. 100% POLYESTER, NON-WOVEN, NEEDLE PUNCH CONSTRUCTED FLEECE COMBINING HIGH TENSILE AND TEAR STRENGTH WITH PUNCTURE RESISTANCE; HAVING THE FOLLOWING TYPICAL PROPERTIES: BASIS OF DESIGN: PUMADEQ N-FLEECE 2. COLOR(S): WHITE 2. PUMA PASTE: A. THIXOTROPIC POLYURETHANE MODIFIED METHACRYLATE (PUMA) SPECIFICALLY DESIGNED FOR REPAIRING SUBSTRATE DEFICIENCIES SUCH AS CONCRETE VOIDS/BUG HOLES; HAVING THE FOLLOWING TYPICAL PROPERTIES: BASIS OF DESIGN: PUMADEQ FLEX 32TX 2. COLOR(S): WHITE 3. PUMA CLEANER: A. LIQUID-BASED METHYL METHACRYLATE (MMA) SPECIFICALLY DESIGNED TO RE-ACTIVATE THE SURFACES OF PUMADEQ RESINS AT TIE-INS AND OVERCOATS THAT EXCEED 48 HOURS BETWEEN COATS, INCLUDING REPAIRS; HAVING THE **FOLLOWING TYPICAL PROPERTIES:** BASIS OF DESIGN: PUMADEQ CLEANING FLUID 2. COLOR(S): COLORLESS PART 3 - EXECUTION A. IT IS THE INSTALLING SUBCONTRACTOR'S RESPONSIBILITY TO VERIFY THE SUBSTRATE IS IN ACCORDANCE WITH PUMA SYSTEM MANUFACTURER'S TECH-TALK BULLETINS AND AS SPECIFIED IN THIS SECTION PRIOR TO INSTALLATION OF THE PUMA SYSTEM. COMMENCEMENT OF THE WORK OR ANY PARTS THEREOF, INDICATES INSTALLER ACCEPTANCE OF THE SUBSTRATE. B. VERIFY COMPONENTS ARE IN PLACE, INCLUDING, BUT NOT LIMITED TO, COPINGS, RAILINGS, FLASHINGS, ELECTRICAL CONDUIT, PIPES, PEDESTALS, OR CURBS. C VERIFY THE FOLLOWING: MOISTURE DETECTION SURVEY: CONDUCT A MOISTURE DETECTION SURVEY IN ACCORDANCE WITH THE PUMA SYSTEM MANUFACTURER'S MOISTURE TEST METHODS TECH-TALK BULLETIN. 2. ADHESION/PULL TEST (OPTIONAL): a. COMPLETE A PUMA PRIMER ADHESION TEST, IN ACCORDANCE WITH ASTM C1583 PRIOR TO INSTALLATION OF PUMA SYSTEM IN ACCORDANCE WITH THE PUMA SYSTEM MANUFACTURER'S COATING ADHESION TEST GUIDELINES TECHi. MINIMUM NUMBER OF TESTS: 2; (1) TEST PER 1,000 SQ.FT. ii. MINIMUM PRIMER ADHESION TO CONCRETE: 200 PSI. OR GREATER THAN CONCRETE COHESIVE STRENGTH. D. DO NOT APPLY PUMA SYSTEM UNTIL SUBSTRATE AND ENVIRONMENTAL CONDITIONS ARE IN ACCORDANCE WITH PUMA SYSTEM MANUFACTURER'S TECH-TALK BULLETIN'S, TDS, AND AS SPECIFIED IN THIS SECTION. A. REFER TO PUMA SYSTEM MANUFACTURER'S APPLICATION TOOLS AND EQUIPMENT TECH-TALK BULLETIN B. SURFACES MUST BE SOUND, DRY, CLEAN, AND FREE OF LAITANCE, OIL, GREASE, DIRT, EXCESS MORTAR, FROST, LOOSE AND FLAKING PARTICLES, CURING COMPOUNDS OR OTHER CONTAMINANTS. 3.3 INSTALLATION A. GENERAL: INSTALL PRODUCTS IN ACCORDANCE WITH THE LATEST INSTALLATION GUIDELINES OF THE MANUFACTURER AND ALL APPLICABLE BUILDING CODES AND OTHER LAWS, RULES, REGULATIONS AND ORDINANCES. REVIEW ALL MANUFACTURER INSTALLATION, MAINTENANCE INSTRUCTIONS, AND OTHER APPLICABLE DOCUMENTS BEFORE INSTALLATION. B. VERIFY SUBSTRATE IS READY TO RECEIVE PUMA SYSTEM IN ACCORDANCE WITH PUMA SYSTEM MANUFACTURER'S TECH-TALK BULLETIN'S AND PRODUCT SPECIFIC TDS. 3.4 FIELD QUALITY CONTROL A. DO NOT ALLOW TRAFFIC ON PUMA SYSTEM UNTIL PUMA SYSTEM IS FULLY CURED. CURE TIMES MAY VARY; REFER TO PRODUCT B. DAMAGE TO SURFACE BY OTHER TRADES SHALL NOT BE THE RESPONSIBILITY OF THE INSTALLING SUBCONTRACTOR 1. PROVIDE TEMPORARY PROTECTION AS REQUIRED. C. DO NOT PENETRATE PUMA SYSTEM. ENSURE ALL COMPONENTS ARE IN PLACE, INCLUDING, BUT NOT LIMITED TO, COPINGS, RAILINGS, FLASHINGS, ELECTRICAL CONDUIT, PIPES, PEDESTALS, OR CURBS PRIOR TO PUMA SYSTEM INSTALLATION. 1. CONTACT PUMA SYSTEM MANUFACTURER WHERE SUBSEQUENT PENETRATIONS ARE ANTICIPATED. END OF SECTION 07 18 13 07 25 00 - WEATHER BARRIERS PART 1 - GENERAL 1.1 SUMMARY A. SECTION INCLUDES 1. BUILDING WRAP PART 2 - PRODUCTS 2.1 MANUFACTURERS: A. DORKEN SYSTEMS INC., DOW CHEMICAL COMPANY, TYPAR. A. ASTM E 1677, TYPE I AIR BARRIER; WITH FLAME-SPREAD AND SMOKE-DEVELOPED INDEXES OF LESS THAN 25 AND 450, RESPECTIVELY, WHEN TESTED ACCORDING TO ASTM E 84; UV STABILIZED; AND ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. 1. BUILDING-WRAP TAPE: PRESSURE-SENSITIVE PLASTIC TAPE RECOMMENDED BY BUILDING-WRAP MANUFACTURER FOR SEALING JOINTS AND PENETRATIONS IN BUILDING WRAP. C. FLEXIBLE FLASHING: 1. AS PROVIDED BY MANUFACTURER. PART 3 - EXECUTION A. APPLY BUILDING WRAP AND FLEXIBLE FLASHING WHERE INDICATED TO COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. END OF SECTION 07 25 00 07 27 15 -NON-BITUMINOUS SELF-ADHERING SHEET AIR BARRIERS PART 1 - GENERAL A. SECTION INCLUDES 1. SELF-ADHERING, VAPOR-PERMEABLE, NONBITUMINOUS SHEET AIR BARRIERS PART 2 - PRODUCTS 2.1 MANUFACTURER A. PROVIDE HENRY BLUESKIN VP160 OR A COMPARABLE PRODUCT APPROVED BY ARCHITECT. A. VAPOR-PERMEABLE NONBITUMINOUS SHEET: MINIMUM 23-MILS THICK, SELF-ADHERING SHEET CONSISTING OF A BREATHABLE CARRIER FILM OR FABRIC AND AN ADHESIVE WITH RELEASE LINER ON ADHESIVE SIDE. 1. PERFORMANCE REQUIREMENTS: WATER VAPOR PERMEANCE (ASTM E96): 29 PERMS AIR LEAKAGE OF AIR BARRIER ASSEMBLIES (ASTM E2357): PASS AIR PERMEANCE (ASTM E2178): PASS. NAIL SEALABILITY (ASTM D1970): PASS DRY TENSILE STRENGTH (ASTM D882): 41 LBF /182N MD. 29 LBF /129N CD SURFACE BURNING CHARACTERISTICS (ASTM E84): FLAME SPREAD: CLASS A. SMOKE DEVELOPMENT: CLASS A. A. ADHESIVE/PRIMER: LIQUID WATERBORNE PRIMER RECOMMENDED FOR SUBSTRATE BY AIR-BARRIER MATERIAL MANUFACTURER. B. FASTENERS: TYPE APPROVED FOR SUBSTRATE. C. FLASHING AND SEALANTS: AS REQUIRED BY THE AIR-BARRIER MANUFACTURER. PART 3 - EXECUTION 3.1 INSTALLATION

A. INSTALL MATERIALS ACCORDING TO AIR-BARRIER MANUFACTURER'S WRITTEN. INSTALL AIR-BARRIER SHEETS OVER AREA TO RECEIVE

AIR BARRIER. ACCURATELY ALIGN SHEETS AND MAINTAIN UNIFORM 2-INCH MINIMUM LAP WIDTHS AT EDGES. OVERLAP AND SEAL

SEAMS, AND STAGGER END LAPS TO ENSURE AIRTIGHT INSTALLATION.

SECTION 07 42 43 - FIBER CEMENT SIDING PART 1 – GENERAI A. THIS SECTION INCLUDES THE FOLLOWING: 1. EXTERIOR, PANELIZED FIBER CEMENT CLADDING SYSTEM AND ACCESSORIES TO COMPLETE A DRAINED AND BACK-VENTILATED 1.2 SUBMITTALS A. PRODUCT DATA: SUBMIT MANUFACTURER'S PRODUCT DESCRIPTION, STORAGE AND HANDLING REQUIREMENTS, AND INSTALLATION INSTRUCTIONS B. PRODUCT TEST REPORTS AND CODE COMPLIANCE: DOCUMENTS DEMONSTRATING PRODUCT COMPLIANCE WITH LOCAL BUILDING CODE, SUCH AS TEST REPORTS OR EVALUATION REPORTS FROM QUALIFIED, INDEPENDENT TESTING AGENCIES. C. MANUFACTURER'S DETAILS: SUBMIT DRAWINGS, INCLUDING PLANS, SECTIONS, SHOWING INSTALLATION DETAILS THAT DEMONSTRATE PRODUCT DIMENSIONS, EDGE/TERMINATION CONDITIONS/TREATMENTS, COMPRESSION AND CONTROL JOINTS, CORNERS, OPENINGS, AND D. SAMPLES: SUBMIT SAMPLES OF EACH PRODUCT TYPE PROPOSED FOR USE. 1.3 QUALITY ASSURANCE A. MANUFACTURER QUALIFICATIONS: ALL FIBER CEMENT PANELS SPECIFIED IN THIS SECTION MUST BE SUPPLIED BY A MANUFACTURER WITH A MINIMUM OF 10 YEARS OF EXPERIENCE IN FABRICATING AND SUPPLYING FIBER CEMENT CLADDING SYSTEMS. B. INSTALLER QUALIFICATIONS: ALL PRODUCTS LISTED IN THIS SECTION ARE TO BE INSTALLED BY A SINGLE INSTALLER TRAINED BY MANUFACTURER OR REPRESENTATIVE 1.4 WARRANTY A. PROVIDE MANUFACTURER'S 50-YEAR WARRANTY AGAINST MANUFACTURED DEFECTS IN FIBER CEMENT PANELS. B. PROVIDE MANUFACTURER'S 15-YEAR WARRANTY AGAINST MANUFACTURED DEFECTS IN PANEL FINISH. C. WARRANTY PROVIDES FOR THE ORIGINAL PURCHASER. SEE WARRANTY FOR DETAILED INFORMATION ON TERMS, CONDITIONS AND PART 2 - PRODUCTS A. ACCEPTABLE MANUFACTURER: NICHIHA CORPORATION, 18-19 NISHIKI 2-CHOME NAKA-KU, NAGOYA, AICHI 460-8610, JAPAN. 1. BASIS OF DESIGN PRODUCT: NICHIHA VINTAGEWOOD. a. PROFILE COLORS: AS INDICATED ON DRAWINGS AND APPROVED BY ARCHITECT. b. PROFILES: WOOD PLANK TEXTURE WITH THREE, 3/8" GROOVES RUNNING LENGTHWISE, SPACED 5-5/8" APART. c. ACCESSORY/COMPONENT OPTIONS: i. MANUFACTURED CORNERS WITH 3-1/2" RETURNS FOR EACH PROFILE COLOR. ii. ALUMINUM TRIM TO BE PAINTED PER FINISH SCHEDULE: OUTSIDE CORNERS (CORNER KEY, OPEN OUTSIDE CORNER), VERTICAL JOINTS (H-MOLD), TERMINATIONS (J-MOLD) iii. ESSENTIAL FLASHING SYSTEM: STARTER, COMPRESSION JOINT, OVERHANG d. DIMENSIONS - AWP-3030: 455MM (17-7/8") (H) X 3,030 MM (119-5/16") (L). e. PANEL THICKNESS: 16 MM (5/8"). f. WEIGHT: 57.32 LBS. PER PANEL g. COVERAGE: 14.81 SQ. FT. PER PANEL. h. FACTORY SEALED ON SIX [6] SIDES. B. REQUESTS FOR SUBSTITUTIONS WILL BE CONSIDERED IN ACCORDANCE WITH PROVISIONS OF DIVISION 1 2.2 MATERIALS A. FIBER CEMENT PANELS MANUFACTURED FROM A PRESSED, STAMPED, AND AUTOCLAVED MIX OF PORTLAND CEMENT, FLY ASH, SILICA, RECYCLED REJECTS, AND WOOD FIBER BUNDLES. B. PANEL SURFACE PRE-FINISHED AND MACHINE APPLIED C. PANELS PROFILED ALONG ALL FOUR EDGES, SUCH THAT BOTH HORIZONTAL AND VERTICAL JOINTS BETWEEN THE INSTALLED PANELS ARE D. FACTORY-APPLIED SEALANT GASKET ADDED TO TOP AND RIGHT PANEL EDGES; ALL JOINTS CONTAIN A FACTORY SEALANT 2.3 PERFORMANCE REQUIREMENTS A. FIBER CEMENT CLADDING – MUST COMPLY WITH ASTM C-1186, TYPE A, GRADE II REQUIREMENTS 1. WET FLEXURAL STRENGTH, LOWER LIMIT: 1015 PSI. 2. WATER TIGHTNESS: NO WATER DROPLETS OBSERVED ON ANY SPECIMEN. 3. FREEZE-THAW: NO DAMAGE OR DEFECTS OBSERVED. 4. WARM WATER: NO EVIDENCE OF CRACKING, DELAMINATION, SWELLING, OR OTHER DEFECTS OBSERVED. 5. HEAT-RAIN: NO CRAZING, CRACKING, OR OTHER DELETERIOUS EFFECTS, SURFACE OR JOINT CHANGES OBSERVED IN ANY SPECIMEN. B. MEAN COEFFICIENT OF LINEAR THERMAL EXPANSION (ASTM E-228): MAX 1.0*10^-5 IN./IN. F C. SURFACE BURNING (CAN-ULC S102/ASTM E-84): FLAME SPREAD: 0, SMOKE DEVELOPED: 5 D. WIND LOAD (ASTM È-330): CONTACT MANUFACTURER FOR ULTIMATE TEST PRESSURE DATA CORRESPONDING TO FRAMING TYPE, DIMENSIONS FASTENER TYPE, AND ATTACHMENT CLIPS. PROJECT ENGINEER(S) MUST DETERMINE ZONE 4 AND 5 DESIGN PRESSURES BASED ON PROJECT 1. MINIMUM LATERAL DEFLECTION: L/120. E. WATER PENETRATION (ASTM E-331): NO WATER LEAKAGE OBSERVED INTO WALL CAVITY F. WEATHER RESISTANT (ASTM G-23): NO CRACKING, CHECKING, CRAZING, EROSION, OR OTHER DETRIMENTAL EFFECTS OBSERVED. G. STEADY-STATE HEAT FLUX AND THERMAL TRANSMISSION PROPERTIES TEST (ASTM C-518): THERMAL RESISTANCE R VALUE OF 1.23. H. FIRE RESISTANT (ASTM E-119): THE WALL ASSEMBLY MUST SUCCESSFULLY ENDURE 60-MINUTE FIRE EXPOSURE WITHOUT DEVELOPING EXCESSIVE UNEXPOSED SURFACE TEMPERATURE OR ALLOWING FLAMING ON THE UNEXPOSED SIDE OF THE ASSEMBLY I. IGNITION RESISTANCE (NFPA 268): NO SUSTAINED FLAMING OF PANELS, ASSEMBLY WHEN SUBJECTED TO A MINIMUM RADIANT HEAT FLUX OF 12.5 KW/M2 ± 5% IN THE PRESENCE OF A PILOT IGNITION SOURCE FOR A 20-MINUTE PERIOD. J. FIRE PROPAGATION (NFPA 285): WALL ASSEMBLY OF NICHIHA AWP, ULTIMATE CLIPS AND STARTER TRACK, TYVEK COMMERCIAL WRAP, ½" DENSGLASS GOLD SHEATHING, 16" O.C. 18 GAUGE STEEL STUDS, MINERAL WOOL IN-CAVITY INSULATION, AND INTERIOR 5/8" TYPE X GYPSUM MET THE ACCEPTANCE CRITERIA OF NFPA 285. K. FIRE PROPAGATION (CAN/ULC S-134): WALL ASSEMBLY OF NICHIHA AWP, ULTIMATE CLIPS AND STARTER TRACK, TYVEK HOUSEWRAP, 5/8" FRT PLYWOOD, 16" O.C. 2X WOOD STUDS, FIBERGLASS IN-CAVITY INSULATION, AND INTERIOR 5/8" TYPE X GYPSUM MET THE ACCEPTANCE CRITERIA L. DRAINED AND BACK VENTILATED RAINSCREEN (AAMA 509-09): SYSTEM MUST PASS ALL COMPONENT TESTS. PART 3 - EXECUTION A. GENERAL: INSTALL PRODUCTS IN ACCORDANCE WITH THE LATEST INSTALLATION GUIDELINES OF THE MANUFACTURER AND ALL APPLICABLE INSTRUCTIONS, AND OTHER APPLICABLE DOCUMENTS BEFORE INSTALLATION. 1. VERTICAL CONTROL/EXPANSION JOINTS ARE REQUIRED WITHIN 2-10 FEET OF OUTSIDE CORNERS FINISHED WITH METAL TRIM AND APPROXIMATELY EVERY 30 FEET THEREAFTER. 2. HORIZONTAL/COMPRESSION JOINTS ARE REQUIRED FOR MULTI-STORY INSTALLATIONS OF AWP. LOCATE JOINTS AT FLOOR LINES. JOINTS ARE FLASHED MINIMUM 1/2" BREAKS. DO NOT CAULK. REFER TO INSTALLATION GUIDE(S). a. WOOD FRAMED BUILDINGS OF THREE OR MORE FLOORS REQUIRE A COMPRESSION JOINT AT EACH FLOOR.

BUILDING CODES AND OTHER LAWS, RULES, REGULATIONS AND ORDINANCES. REVIEW ALL MANUFACTURER INSTALLATION, MAINTENANCE

3.2 CLEANING AND MAINTENANCE A. REVIEW MANUFACTURER GUIDELINES FOR DETAILED CARE INSTRUCTIONS.

END OF SECTION 07 42 43

SECTION 07 46 46 - FIBER CEMENT BOARD PANELS

PART 1 – GENERAL

1. FIBER-CEMENT BOARD PANELS.

A. THIS SECTION INCLUDES THE FOLLOWING: 2. TRIM ACCESSORIES. 1.2 SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT. INCLUDE CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, DIMENSIONS OF INDIVIDUAL COMPONENTS AND PROFILES, AND FINISHES. B. SAMPLES: FOR EACH TYPE, COLOR, TEXTURE, AND PATTERN INDICATED ON DRAWINGS

12-INCH- LONG-BY-ACTUAL-WIDTH SAMPLE OF PANEL 2. 12-INCH- LONG-BY-ACTUAL-WIDTH SAMPLES OF TRIM AND ACCESSORIES 1.3 QUALITY ASSURANCE

A. PRODUCT CERTIFICATES: FOR EACH TYPE OF FIBER-CEMENT BOARD PANEL B. PRODUCT TEST REPORTS: BASED ON EVALUATION OF COMPREHENSIVE TESTS PERFORMED BY A QUALIFIED TESTING AGENCY, FOR

C. RESEARCH/EVALUATION REPORTS: FOR EACH TYPE OF FIBER-CEMENT BOARD PANEL REQUIRED, FROM ICC- ES.

PART 2 - PRODUCTS

2.1 FIBER-CEMENT BOARD SIDING A. GENERAL: ASTM C 1186, TYPE A, GRADE II, FIBER-CEMENT BOARD, NONCOMBUSTIBLE WHEN TESTED ACCORDING TO ASTM E 136; WITH A FLAME-SPREAD INDEX OF 25 OR LESS WHEN TESTED ACCORDING TO ASTM E 84. 1. BASIS OF DESIGN PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE JAMES HARDIE BUILDING PRODUCTS,

INC.; HARDIEPANEL VERTICAL SIDING - REVEAL PANEL SYSTEM, OR COMPARABLE PRODUCT BY ONE OF THE FOLLOWING: B. LABELING: PROVIDE FIBER-CEMENT SIDING THAT IS TESTED AND LABELED ACCORDING TO ASTM C 1186 BY A QUALIFIED TESTING AGENCY ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. C. THICKNESS: 0.312 INCH. D. LENGTH: AS INDICATED.

. WIDTH: 48 INCHES. PANEL TEXTURE: SMOOTH G. COLORS: APPROVED BY ARCHITECT. 2.2 TRIM ACCESSORIES

A. ALUMINUM TRIM: EXTRUDED ACCESSORIES OF PROFILES AND DIMENSIONS INDICATED. I. BASIS OF DESIGN PRODUCTS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE FRY REGLET; FIBER CEMENT PANEL REVEALS IN THE FOLLOWING SHAPES: a. FCP-J CHANNEL.

FINISH: PRE-PRIMED.

b. FCP - INSIDE CNR c. FCP - OUTSIDE CNR. d. FCP - VERTICAL.

e. FCP - HOZ TRIM.

B. FASTENERS: FOR FASTENING TO WOOD, USE SIDING NAILS OF SUFFICIENT LENGTH TO PENETRATE A MINIMUM OF 1 INCH INTO SUBSTRATE 2. FOR FASTENING FIBER CEMENT, USE HOT-DIP GALVANIZED FASTENERS. PART 3 - EXECUTION

2. ALUMINUM: ALLOY AND TEMPER WITH NOT LESS THAN THE STRENGTH AND DURABILITY PROPERTIES OF ASTM B 221, ALLOY 6063-

PART 3 - EXECUTION

3.1 INSTALLATION A. GENERAL: COMPLY WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS APPLICABLE TO PRODUCTS AND

APPLICATIONS INDICATED UNLESS MORE STRINGENT REQUIREMENTS APPLY. B. INSTALL JOINT SEALANTS AS SPECIFIED BY MANUFACTURER'S INSTRUCTIONS AND AS SHOWN ON DRAWINGS TO PRODUCE A WEATHERTIGHT INSTALLATION.

END OF SECTION 07 46 46

07 62 00 -SHEET METAL FLASHING AND TRIM

PART 1 - GENERAL

1. COUNTER FLASHING, WALL FLASHING, AND MISCELLANEOUS SHEET METAL WORK. B. WARRANTY: SPECIAL WARRANTY ON FINISHES: MANUFACTURER AGREES TO REPAIR FINISH OR REPLACE SHEET METAL FLASHING AND

TRIM THAT SHOWS EVIDENCE OF DETERIORATION OF FACTORY-APPLIED FINISHES WITHIN SPECIFIED WARRANTY PERIOD OF 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION. C. PERFORMANCE REQUIREMENTS: SHEET METAL FLASHING AND TRIM ASSEMBLIES SHALL WITHSTAND WIND LOADS, STRUCTURAL MOVEMENT, THERMALLY INDUCED MOVEMENT, AND EXPOSURE TO WEATHER WITHOUT FAILURE DUE TO DEFECTIVE MANUFACTURE. FABRICATION, INSTALLATION, OR OTHER DEFECTS IN CONSTRUCTION. COMPLETED SHEET METAL FLASHING AND TRIM SHALL NOT

PART 2 - PRODUCTS

A. METALLIC COATED STEEL SHEET: PROVIDE ZINC-COATED (GALVANIZED) STEEL SHEET ACCORDING TO ASTM A 653/A 653/A, G90 (Z275) COATING DESIGNATION; PREPAINTED BY COIL-COATING PROCESS TO COMPLY WITH ASTM A 755/A 755M. B. ALUMINUM SHEET: ASTMB209, ALLOY AS STANDARD WITH MANUFACTURER FOR FINISH REQUIRED, WITH TEMPER AS REQUIRED TO SUIT

FORMING OPERATIONS AND PERFORMANCE REQUIRED; WITH SMOOTH, FLAT SURFACE. C. STAINLESS-STEEL SHEET: ASTMA240/A240MOR ASTMA666, TYPE304, DEAD SOFT, FULLY ANNEALED; WITH SMOOTH, FLAT SURFACE, 2B

D. ACCESSORIES: AS REQUIRED AND COMPATIBLE TO METALS SPECIFIED.

RATTLE, LEAK, OR LOOSEN, AND SHALL REMAIN WATERTIGHT.

E. SEALANT: BUTYL SEALANT TYPE BY TREMCO. F. PLASTIC CEMENT: ASTM D4586, TYPE I.

G. SOLDER: ASTM B32; TYPE SUITABLE FOR APPLICATION AND MATERIAL BEING SOLDERED.

PART 3 - EXECUTION

A. INSTALL IN ACCORDANCE WITH MANUFACTURERS LATEST INSTALLATION INSTRUCTIONS. FIT FLASHINGS TIGHT IN PLACE. MAKE CORNERS SQUARE, SURFACES TRUE AND STRAIGHT IN PLANES, AND LINES ACCURATE TO PROFILES.

END OF SECTION 07 62 00

07 71 00 -ROOF SPECIALTIES

PART 1 - GENERAL

A. SECTION INCLUDES: COPINGS. COUNTER FLASHINGS, SCUPPERS. B. WARRANTY: SPECIAL WARRANTY ON PAINTED FINISHES: MANUFACTURER AGREES TO REPAIR FINISH OR REPLACE ROOF SPECIALTIES THAT SHOW EVIDENCE OF DETERIORATION OF FACTORY-APPLIED FINISHES WITHIN SPECIFIED WARRANTY PERIOD. FINISH WARRANTY PERIOD: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

C. PERFORMANCE REQUIREMENTS: GENERAL PERFORMANCE: ROOF SPECIALTIES SHALL WITHSTAND EXPOSURE TO WEATHER AND THERMALLY INDUCED MOVEMENT WITHOUT FAILURE, RATTLING, LEAKING, OR FASTENER DISENGAGEMENT DUE TO DEFECTIVE MANUFACTURE, FABRICATION, INSTALLATION, OR OTHER DEFECTS IN CONSTRUCTION.

PART 2 - PRODUCTS

A. COUNTERFLASHINGS: MANUFACTURED UNITS OF HEIGHTS TO OVERLAP TOP EDGES OF BASE FLASHINGS BY 4 INCHES AND IN LENGTHS NOT EXCEEDING 12 FEET DESIGNED TO SNAP INTO REGLETS AND COMPRESS AGAINST BASE FLASHINGS WITH JOINTS LAPPED, FROM THE FOLLOWING EXPOSED METAL:

1. COUNTER FLASHING MATERIAL: STAINLESS STEEL: 0.019 INCH THICK. 2. FINISHES: COMPLY WITH NAAMM'S "METAL FINISHES MANUAL FOR ARCHITECTURAL AND METAL PRODUCTS" FOR

RECOMMENDATIONS FOR APPLYING AND DESIGNATING FINISHES.

3. STAINLESS-STEEL FINISH: NO. 2B (BRIGHT, COLD ROLLED, UNPOLISHED)

4. ALUMINUM COLOR: AS SELECTED BY ARCHITECT FROM MANUFACTURER'S FULL RANGE. 3. COPING:REFER TO EXTERIOR FINISH LEGEND ON DRAWINGS FOR MANUFACTURER & PRODUCT

C. METAL COPINGS: MANUFACTURED ALUMINUM COPING SYSTEM CONSISTING OF METAL COPING CAP, CONCEALED ANCHORAGE; WITH CORNER UNITS, END CAP UNITS, AND CONCEALED SPLICE PLATES WITH FINISH MATCHING COPING CAPS.

D. ACCESSORIES: 1. COUNTER FLASHING WIND-RESTRAINT CLIPS: PROVIDE CLIPS TO BE INSTALLED BEFORE COUNTER FLASHING TO PREVENT WIND

UPLIFT OF COUNTER FLASHING LOWER EDGE. 2. FASTENERS: MANUFACTURER'S RECOMMENDED FASTENERS, SUITABLE FOR APPLICATION AND DESIGNED TO MEET

PERFORMANCE REQUIREMENTS. SEALANTS AS REQUIRED.

PART 3 - EXECUTION

3.1 INSTALLATION:

A. INSTALL ROOF SPECIALTIES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

B. ANCHOR ROOF SPECIALTIES SECURELY IN PLACE, WITH PROVISIONS FOR THERMAL AND STRUCTURAL MOVEMENT. USE FASTENERS, SOLDER, PROTECTIVE COATINGS, SEPARATORS, UNDERLAYMENTS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED TO COMPLETE ROOF-SPECIALTY SYSTEMS.

END OF SECTION 07 71 00

07 72 00 -ROOF ACCESSORIES

PART 1 - GENERAL

1.1 SUMMARY A. SECTION INCLUDES: ROOF CURBS, EQUIPMENT SUPPORTS AND ROOF HATCH. PIPE AND DUCT SUPPORTS. PIPE PORTALS. PREFORMED

B. WARRANTY: SPECIAL WARRANTY ON PAINTED FINISHES: MANUFACTURER'S STANDARD FORM IN WHICH MANUFACTURER AGREES TO REPAIR FINISHES OR REPLACE ROOF ACCESSORIES THAT SHOW EVIDENCE OF DETERIORATION OF FACTORY-APPLIED FINISHES WITHIN 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION

PART 2 - PRODUCTS

2.1 ROOF CURBS

A. INTERNALLY REINFORCED, MINIMUM 0.052 INCHES THICK GALVANIZED STEEL, ROOF-CURB UNITS CAPABLE OF SUPPORTING SUPERIMPOSED LIVE AND DEAD LOADS, INCLUDING EQUIPMENT LOADS AND OTHER CONSTRUCTION INDICATED ON DRAWINGS; WITH WELDED OR MECHANICALLY FASTENED AND SEALED CORNER JOINTS, INTEGRAL METAL CANT AND INTEGRALLY FORMED DECK-MOUNTING FLANGE AT PERIMETER BOTTOM. IF LOADS ARE NOT INDICATED ON DRAWINGS, COORDINATE WITH ARCHITECT. B. STEEL FINISH: MILL PHOSPHATIZED.

C. EQUIPMENT SUPPORTS: INTERNALLY REINFORCED, MINIMUM 0.052 INCHES THICK GALVANIZED STEEL, EQUIPMENT SUPPORTS CAPABLE OF SUPPORTING SUPERIMPOSED LIVE AND DEAD LOADS, INCLUDING EQUIPMENT LOADS AND OTHER CONSTRUCTION INDICATED ON DRAWINGS; WITH WELDED OR MECHANICALLY FASTENED AND SEALED CORNER JOINTS, INTEGRAL METAL CANT, AND INTEGRALLY FORMED DECK-MOUNTING FLANGE AT PERIMETER BOTTOM.

PART 3 - EXECUTION

3.1 INSTALLATION GENERAL

A. VERIFY DIMENSIONS OF ROOF OPENINGS FOR ROOF ACCESSORIES. INSTALL ROOF ACCESSORIES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

END OF SECTION 07 72 00

(SPECIFICATIONS CONTINUE ON NEXT SHEET)

4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

PROJECT NAME

215-483-1915

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

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SYSTEMS

BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 **EXTON, PA 19341** 610-254-9140

CONTRACTOR ACKNOWLEDGEMENT:

By using or agreeing to use any of the

information set forth on the project drawing and

specifications, each contractor, subcontractor

and/ or supplier acknowledges that: (a) it has thoroughly reviewed <u>all</u> of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope; (b) it has verified that the information used is accurate and complete; (c) it will report any inaccurate or incomplete information to the project architect immediately upon becoming aware of the error or omission; (d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to finalizing their bids.

SEAL:			
1			

REVISIONS				
NO.	DATE	ISSUE		

DRAWING TITLE

CALE: 12" = 1'-0" | DRAWN BY:

09/11/20 | CHECKED BY:

SHEET NO.

PROJECT NO.

1915

END OF SECTION 07 27 15

SPECIFICATIONS (CONT'D)

SECTION 07 84 00 - FIRESTOPPING

PART 1 - GENERAL

1.1 SUMMARY

A. FIRESTOPPING TO BE PROVIDED AT:

- 1. FIRESTOPPING FOR THROUGH PENETRATIONS AND JOINTS IN FIRE RATED ASSEMBLIES.
- 2. FIRESTOPPING AT TOP OF FIRE RATED WALLS.

1.2 SUBMITTALS

A. PRODUCT DATA: FOR EACH TYPE OF PRODUCT. INCLUDE CONSTRUCTION DETAILS, MATERIAL DESCRIPTIONS, DIMENSIONS OF INDIVIDUAL COMPONENTS AND PROFILES, AND FINISHES.

PART 2 - PRODUCTS

A. PRODUCT DESCRIPTION: LISTED AS COMPONENTS OF TESTED DESIGN, APPROPRIATE FOR CONDITIONS.

- 1. DIFFERENT TYPES OF PRODUCTS BY MULTIPLE MANUFACTURERS ARE ACCEPTABLE AS REQUIRED TO MEET SPECIFIED SYSTEM
- DESCRIPTION AND PERFORMANCE REQUIREMENTS; PROVIDE ONLY ONE TYPE FOR EACH SIMILAR APPLICATION. C. FILL, VOID, AND CAVITY MATERIALS: ONE OR MORE OF THE FOLLOWING TYPES, AS APPROPRIATE FOR PARTICULAR CONSTRUCTION
- SILICONE FOAM MATERIAL, ROOM TEMPERATURE VULCANIZING, 14 TO 20 LB/CU FT DENSITY.
- SILICONE SEALANT MATERIAL, EXCEPT ON FINISHED SURFACES TO BE PAINTED.
- CAULK TYPE MATERIAL.
- PUTTY TYPE MATERIAL 5. COMPOSITE SHEET TYPE MATERIAL, 1/4 INCH NOMINAL THICKNESS, FOIL-FACED.
- 6. WRAP STRIP TYPE MATERIAL, 1/4 INCH NOMINAL THICKNESS, INTUMESCENT ELASTOMERIC.
- D. PACKING MATERIALS: ONE OR MORE OF THE FOLLOWING TYPES, AS APPROPRIATE FOR PARTICULAR CONSTRUCTION CONDITIONS: CERAMIC FIBER BLANKET. 4 LB/CU FT DENSITY.
- CERAMIC FIBER INSULATION, MINIMUM 1 INCH THICK, 8 LB/CU FT MINIMUM DENSITY.
- E. MANUFACTURERS:
- 1. 3M FIRE PROTECTION PRODUCTS. SPECIFIED TECHNOLOGIES, INC.
- 3. HILTI, INC.
- 4. NELSON. 5. SUBSTITUTIONS: IN ACCORDANCE WITH CONTRACT DOCUMENTS.
- F. ACCESSORIES: PRIMER: TYPE RECOMMENDED BY MANUFACTURER.
- 2. INSTALLATION ACCESSORIES: PROVIDE CLIPS, COLLARS, FASTENERS, TEMPORARY STOPS OR DAMS, AND OTHER DE ICES REQUIRED TO POSITION AND RETAIN MATERIALS IN PLACE.

PART 3 - EXECUTION

3.1. INSTALLATION

- A. VERIFY OPENINGS ARE READY TO RECEIVE FIRESTOPPING.
- B. VERIFY THAT PENETRATING ELEMENTS ARE SECURELY FIXED AND PROPERLY LOCATED; WITH A MINIMUM OF 1/2 INCH SPACE BETWEEN
- PENETRATIONS AND SURFACES OF OPENINGS UNLESS OTHERWISE REQUIRED OR PERMITTED BY TESTED DESIGN C. CLEAN SUBSTRATE SURFACES OF DIRT, DUST, GREASE, OIL, LOOSE MATERIAL, OR OTHER MATTER WHICH MAY AFFECT BOND OF
- FIRESTOPPING MATERIAL.
- D. REMOVE INCOMPATIBLE MATERIALS WHICH MAY AFFECT BOND.
- INSTALL BACKING MATERIALS TO ARREST LIQUID MATERIAL LEAKAGE
- F. INSTALL MATERIAL AT FIRE RATED CONSTRUCTION PERIMETERS AND OPENINGS WHICH CONTAIN PENETRATING SLEEVES, PIPING, DUCTWORK, CONDUIT

END OF SECTION 07 84 00

<u>07 92 00 - JOINT SEALANTS</u>

PART 1 - GENERAL

- 1.1 SUMMARY
- A. SECTION INCLUDES: INTERIOR AND EXTERIOR JOINT SEALANTS.
- 1.2 QUALITY ASSURANCE:
- A. INSTALLER QUALIFICATIONS: AN AUTHORIZED REPRESENTATIVE WHO IS TRAINED AND APPROVED BY MANUFACTURER. B. MOCKUPS: INSTALL SEALANT IN MOCKUPS OF ASSEMBLIES SPECIFIED IN OTHER SECTIONS THAT ARE INDICATED TO RECEIVE JOINT SEALANTS
- SPECIFIED IN THIS SECTION. C. USE MATERIALS AND INSTALLATION METHODS SPECIFIED IN THIS SECTION.
- D. PRECONSTRUCTION FIELD-ADHESION TESTING: BEFORE INSTALLING SEALANTS, FIELD TEST THEIR ADHESION TO PROJECT JOINT SUBSTRATES
- A. SPECIAL INSTALLER'S WARRANTY, TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION. SPECIAL MANUFACTURER'S WARRANTY, FIVE YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

2.1 MANUFACTURERS:

- A. TREMCO, DOW CORNING, GE CONSTRUCTION SEALANTS, SHERWIN WILLIAMS, PECORA CORPORATION, SIKA CORPORATION U.S.
- A. PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT-SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.
- 2.3 SILICONE JOINT SEALANTS: A. SILICONE, S. NS. 100/50, NT:
 - 1. SINGLE-COMPONENT, NONSAG, PLUS100 PERCENT AND MINUS 50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING
- SILICONE JOINT SEALANT; ASTMC920, TYPES, GRADENS, CLASS100/50, USENT. B. SILICONE, S. NS. 50, NT:
- 1. SINGLE-COMPONENT, NONSAG, PLUS50 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-CURING
- SILICONE JOINT SEALANT; ASTMC920, TYPES, GRADENS, CLASS50, USENT.
- 1. SINGLE-COMPONENT, POURABLE, PLUS100 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY TRAFFIC-AND NONTRAFFIC-USE.
- NEUTRAL-CURING SILICONE JOINT SEALANT; ASTMC920, TYPES, GRADEP, CLASS100/50, USES T AND NT. 2.4 NON-STAINING SILICONE JOINT SEALANTS:
- A. SILICONE, NONSTAINING, S, NS, 100/50, NT: NONSTAINING, SINGLE-COMPONENT, NONSAG, PLUS100 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE.
- NEUTRAL-CURING SILICONE JOINT SEALANT: ASTMC920. TYPES. GRADENS. CLASS100/50. USE NT. B. SILICONE, NONSTAINING, S, NS, 50, NT:
- 1. NONSTAINING, SINGLE-COMPONENT, NONSAG, PLUS50 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE. NEUTRAL-CURING SILICONE JOINT SEALANT; ASTMC920, TYPES, GRADENS, CLASS50, USENT.
- C. SILICONE, NONSTAINING, S. NS, 100/50, T. NT: 1. NONSTAINING, SINGLE-COMPONENT, NONSAG, PLUS100 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, TRAFFIC-AND
- NONTRAFFIC-USE, NEUTRAL-CURING SILICONE JOINT SEALANT; ASTMC920, TYPES, GRADENS, CLASS100/50, USEST AND NT.
- D. SILICONE, NONSTAINING, M. NS, 50, NT: 1. NONSTAINING, MULTICOMPONENT, NONSAG, PLUS50 PERCENT AND MINUS50 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, NEUTRAL-
- CURING SILICONE JOINT SEALANT; ASTMC920, TYPEM, GRADENS, CLASS50, USENT.
- 2.5. URETHANE JOINT SEALANTS:
- A. URETHANE, S, NS, 25, NT: SINGLE-COMPONENT, NONSAG, NONTRAFFIC-USE, PLUS25 PERCENT AND MINUS25 PERCENT MOVEMENT CAPABILITY, URETHANE JOINT SEALANT; ASTMC920, TYPES, GRADENS, CLASS25, USENT.
- B. URETHANE, M, NS, 25, T, NT: MULTICOMPONENT, NONSAG, PLUS25 PERCENT AND MINUS25 PERCENT MOVEMENT CAPABILITY, TRAFFIC-AND NONTRAFFIC-USE, URETHANE JOINT SEALANT; ASTMC920, TYPEM, GRADENS, CLASS25, USES T AND NT.
- C. URETHANE, M, P, 25, T, NT: MULTICOMPONENT, POURABLE, PLUS25 PERCENT AND MINUS25 PERCENT MOVEMENT CAPABILITY, TRAFFIC-AND
- NONTRAFFIC-USE, URETHANE JOINT SEALANT; ASTMC920, TYPEM, GRADEP, CLASS25, USES T AND NT. 2.6 MILDEW-RESISTANT JOINT SEALANTS:
- A. SILICONE, MILDEW RESISTANT, ACID CURING, S, NS, 25, NT: MILDEW-RESISTANT, SINGLE-COMPONENT, NONSAG, PLUS25 PERCENT AND MINUS 25 PERCENT MOVEMENT CAPABILITY, NONTRAFFIC-USE, ACID-CURING SILICONE JOINT SEALANT; ASTMC920, TYPES, GRADENS, CLASS25,
- 2.7 BUTYL JOINT SEALANTS: A. BUTYL-RUBBER-BASED JOINT SEALANTS: ASTMC1311.
- 2.8 LATEX JOINT SEALANTS: A. ACRYLIC LATEX: ACRYLIC LATEX OR SILICONIZED ACRYLIC LATEX, ASTMC834, TYPEOP, GRADENF.
- 2.9 JOINT SEALANT BACKING:
 - A. SEALANT BACKING MATERIAL, GENERAL: NONSTAINING; COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS; AND APPROVED FOR APPLICATIONS INDICATED BY SEALANT MANUFACTURER BASED ON FIELD EXPERIENCE AND LABORATORY
 - B. CYLINDRICAL SEALANT BACKINGS: ASTMC1330, TYPEC (CLOSED-CELL MATERIAL WITH A SURFACE SKIN), TYPEO (OPEN-CELL MATERIAL), TYPEB (BICELLULAR MATERIAL WITH A SURFACE SKIN)OR ANY OF THE PRECEDING TYPES, AS APPROVED IN WRITING BY JOINT-SEALANT MANUFACTURER FOR JOINT APPLICATION INDICATED, AND OF
 - SIZE AND DENSITY TO CONTROL SEALANT DEPTH AND OTHERWISE CONTRIBUTE TO PRODUCING OPTIMUM SEALANT PERFORMANCE. C. BOND-BREAKER TAPE: POLYETHYLENE TAPE OR OTHER PLASTIC TAPE RECOMMENDED BY SEALANT MANUFACTURER FOR PREVENTING
 - SEALANT FROM ADHERING TO RIGID, INFLEXIBLE JOINT-FILLER MATERIALS OR JOINT SURFACES AT BACK OF JOINT. PROVIDE SELF-ADHESIVE
- TAPE WHERE APPLICABLE. 2.10 MISCELLANEOUS MATERIALS: PRIMER. CLEANER. MASKING TAPE.

PART 3 - EXECUTION

3.1 INSTALLATION:

A. COMPLY WITH JOINT-SEALANT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS FOR PRODUCTS AND APPLICATIONS INDICATED, UNLESS MORE STRINGENT REQUIREMENTS APPLY. COMPLY WITH RECOMMENDATIONS IN ASTMC1193 FOR USE OF JOINT SEALANTS AS APPLICABLE TO MATERIALS, APPLICATIONS, AND CONDITIONS INDICATED.

END OF SECTION 07 92 00

07 92 19 -ACOUSTICAL JOINT SEALANTS

PART 1 - GENERAL

- 1.1 SUMMARY A. SECTION INCLUDES: INTERIOR ACOUSTICAL JOINT SEALANTS.
- 1.2 WARRANTIES A. SPECIAL INSTALLER'S WARRANTY, TWO YEARS FROM DATE OF SUBSTANTIAL COMPLETION. SPECIAL MANUFACTURER'S WARRANTY, FIVE YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

- 2.1 MANUFACTURERS A. ACCUMETRIC LLC, GE CONSTRUCTION SEALANTS, PECORA CORPORATION, TREMCO INCORPORATED.
- 2.2 COMPATIBILITY A. PROVIDE ACOUSTICAL JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY JOINT-SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.
- 2.3 PERFORMANCE REQUIREMENTS A. PROVIDE ACOUSTICAL JOINT-SEALANT PRODUCTS THAT EFFECTIVELY REDUCE AIRBORNE SOUND TRANSMISSION THROUGH PERIMETER JOINTS
- AND OPENINGS IN BUILDING CONSTRUCTION, AS DEMONSTRATED BY TESTING REPRESENTATIVE ASSEMBLIES ACCORDING TO ASTME90. A. INTERIOR ACOUSTICAL JOINTS: MANUFACTURER'S STANDARD NONSAG, PAINTABLE, NONSTAINING LATEX ACOUSTICAL SEALANT COMPLYING WITH ASTM C 834, COLOR AS SELECTED.
- 2.5 ACCESSORIES
- A. PRIMER. CLEANER. MASKING TAPE. B. SEALANT BACKING MATERIAL, GENERAL: NONSTAINING; COMPATIBLE WITH JOINT SUBSTRATES, SEALANTS, PRIMERS, AND OTHER JOINT FILLERS; AND APPROVED FOR APPLICATIONS INDICATED BY SEALANT MANUFACTURER.

PART 3 - EXECUTION

- A. INSTALL IN ACCORDANCE WITH MANUFACTURERS LATEST INSTALLATION INSTRUCTIONS.
- B. STC-RATED ASSEMBLIES: SEAL CONSTRUCTION AT PERIMETERS, BEHIND CONTROL JOINTS, AND AT OPENINGS AND PENETRATIONS WITH A CONTINUOUS BEAD OF ACOUSTICAL JOINT SEALANT. INSTALL ACOUSTICAL JOINT SEALANTS AT BOTH FACES OF PARTITIONS, AT PERIMETERS,
- AND THROUGH PENETRATIONS. C. COMPLY WITH ASTM C 919, ASTM C 1193, AND MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR CLOSING OFF SOUND-FLANKING PATHS AROUND OR THROUGH ASSEMBLIES, INCLUDING SEALING PARTITIONS TO UNDERSIDE OF FLOOR SLABS ABOVE ACOUSTICAL CEILINGS.

END OF SECTION 07 92 19

<u>DIVISION 08 - DOORS, FRAMES, WINDOWS AND HARDWARE</u>

DOORS AND FRAMES

PROVIDE LABELED AND/OR NON-LABELED FRAMES IN THE DIMENSIONS SHOWN ON DRAWINGS. INTERIOR FRAMES ARE TO BE 18 GAUGE AND EXTERIOR FRAMES ARE TO BE 16 GAUGE GALVANIZED.

FRAMES SHALL BE FACTORY SHOP PRIMED.

SET FRAMES ACCURATELY INTO POSITION, PLUMBED, ALIGNED, AND BRACED UNTIL PERMANENT ANCHORS ARE SET. AFTER WALL CONSTRUCTION REMOVE TEMPORARY BRACING.

EXTERIOR DOORS ARE TO BE 18 GAUGE HOLLOW METAL DOORS AS SHOWN. DOORS SHALL BE PREPARED TO RECEIVE FINISH AND HARDWARE AS SCHEDULED.

WOOD DOORS

INTERIOR DOORS SHALL BE 1 3/4" THICK PAINT GRADE SOLID CORE DOORS AND TO BE MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF AWI QUALITY STANDARDS.

PREPARE DOORS TO RECEIVE HARDWARE AND FINISH AS SCHEDULED.

INSTALL WOOD DOORS PLUMB SQUARE, AND WITH MAXIMUM DIAGONAL DISTORTION OF 1/16". INSTALL HARDWARE IN ACCORDANCE WITH REQUIREMENTS STATED IN THE HARDWARE SCHEDULE.

PROVIDE ITEMS AS LISTED IN HARDWARE SCHEDULE, COMPLETE TO FUNCTION AS INDICATED. UNLESS OTHERWISE NOTED OR APPROVED BY CM OR ARCHITECT DOOR HARDWARE IS TO BE STANLEY SOLUTIONS.

PROVIDE CONSTRUCTION CORE CYLINDERS FOR ALL EXTERIOR DOORS DURING CONSTRUCTION PERIOD. CORES SHOULD BE STANLEY BEST CORE 7 PIN CYLINDERS.

ACCURATELY AND PROPERLY FIT HARDWARE TO DOORS AND FRAMES. REMOVE EXPOSED PARTS UNTIL AFTER PAINT FINISHING IS COMPLETED. REINSTALL AFTER FINISHING IS COMPLETE. FIT FIXED PARTS SNUG AND FLUSH. ADJUST OPERATING PARTS TO MOVE FREELY AND SMOOTHLY WITHOUT BINDING, STICKING OR WITH EXCESSIVE CLEARANCE.

AFTER WORK HAS BEEN OTHERWISE COMPLETED, EXAMINE HARDWARE IN PLACE FOR COMPLETE AND PROPER INSTALLATION. LUBRICATE BEARING SURFACES OF MOVING PARTS. ADJUST LATCHING AND HOLDING DEVICES FOR PROPER FUNCTION. ADJUST DOOR CONTROL DEVICES TO PROPER SPEED AND POWER. CLEAN EXPOSED SURFACES AND CHECK FOR SURFACE DAMAGE.



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215-483-1915 **PROJECT NAME**

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

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KIDDMA. LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST

215-755-9318

610-254-9140

PHILADELPHIA, PA 19145

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341

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NO.	DATE	ISSI

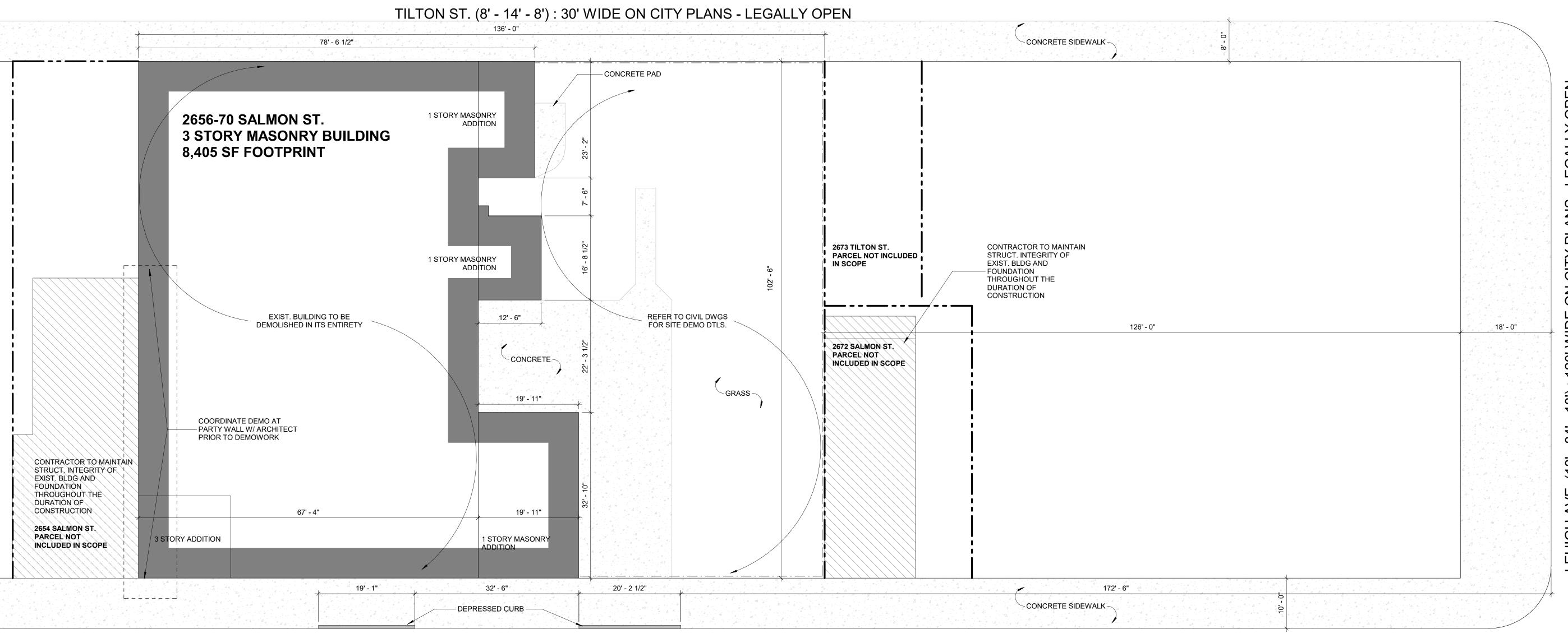
RAWING TITLE

REVISIONS

CALE: 12" = 1'-0" | DRAWN BY:

09/11/20 | CHECKED BY: DI

SHEET NO.



EXISTING CONDITIONS

SALMON ST. (10' - 20' - 10'): 40' WIDE ON CITY PLANS - LEGALLY OPEN

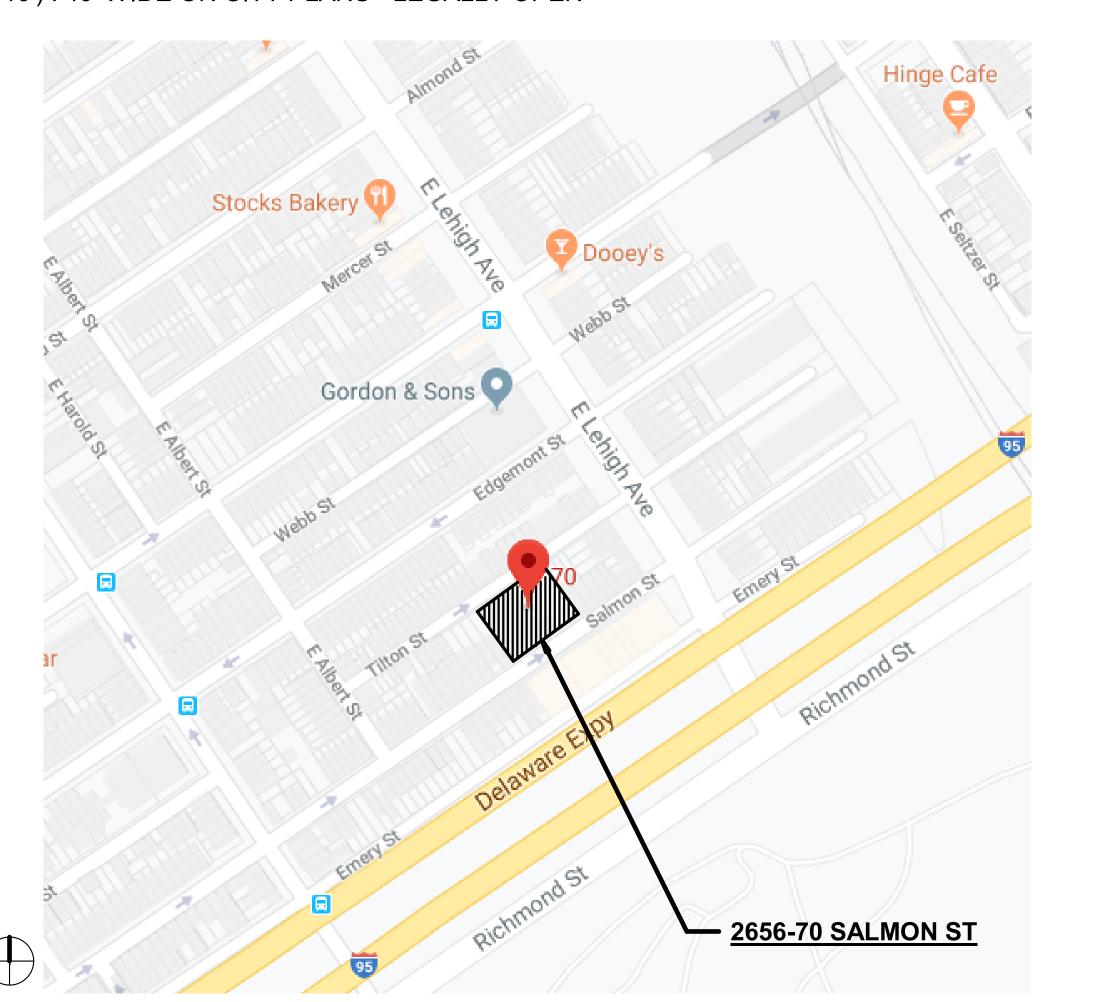
NOTE:

1. THIS DEMO PLAN IS FOR GENERAL INFORMATION ONLY, TO BE USED AS A REFERENCE FOR

2. CONFIRM ALL DIMENSIONS AND EXISTING ASSEMBLIES ISSUED FOR GENERAL SCOPE OF

3. DEMOLITION CONTRACTOR RESPONSIBLE FOR ALL MEANS AND METHODS.

4. SEE CIVIL ENGINEERING DRAWING 1 OF 7 FOR ALL SITE DEMO NOTES.



ZONING DATA - PROJECT #201915 : 2656-70 SALMON STREET

OPA ACCOUNT # 884346485

 RSA-5 (RESIDENTIAL SINGLE-FAMILY ATTACHED-5) ALLOWABLE USES: SINGLE FAMILY

 SPECIAL EXCEPTION APPROVAL REQ. FOR USE AS : GROUP LIVING (WITH EXCEPTIONS); PERSONAL CARE HOME

OVERLAY DISTRICTS:

• NON-ACCESSORY SIGNS – REGULATIONS APPLICABLE TO THE I-95 ACQUISITION CORRIDOR (14-905(11)) – (NOT APPLICABLE: AFFECTS ONLY OUTDOOR ADVERTISING STRUCTURES / SIGNS).

 NCA NEIGHBORHOOD COMMERCIAL AREA OVERLAY DISTRICT – NORTH DELAWARE AVENUE (14-503(8)) – (NOT APPLICABLE: AFFECTS ONLY ASSEMBLY AND ENTERTAINMENT USES).

TOTAL SITE AREA: 13,940 SF (SURVEY); 13,975 (PHILADELPHIA ATLAS)

• FRONT: BASED ON ADJACENT BUILDING SETBACKS [5] • a) "...THE FRONT SETBACK SHALL BE NO DEEPER THAN THE FRONT SETBACK OF THE PRINCIPLE BUILDING ON THE IMMEDIATELY ADJACENT LOT ON SUCH STREET WITH THE DEEPEST FRONT SETBACK; AND SHALL BE NO SHALLOWER THAN THE FRONT SETBACK OF THE PRINCIPAL BUILDING ON THE IMMEDIATELY ADJACENT LOTLOT ON SUCH STREET WITH THE SHALLOWEST FRONT SETBACK."

• b) "ON ANY GIVEN STREET, IF THERE IS NO PRINCIPAL BUILDING ON AN IMMEDIATELY ADJACENT LOT, THEN THE FRONT SETBACK SHALL MATCH THE FRONT SETBACK ON THE CLOSEST BUILDING TO THE SUBJECT PROPERTY THAT IS ON THE SAME BLOCKFACE. IF THERE IS NO SUCH BUILDING, THE MINIMUM FRONT SETBACK SHALL BE ZERO."

c) "IF THE PROPERTY IS BOUNDED BY TWO OR MORE STREETS, ONLY THE PRIMARY FRONTAGES AS DESIGNATED IN 14-701(1)(d)(.4) (PRIMARY FRONTAGE) SHALL BE SUBJECT TO THE FRONT SETBACK REQUIREMENTS OF a) AND b) ABOVE."

SIDE: N/A (2/5 FT EA. FOR DETACHED)
REAR: 9 FT ([7] "FOR LOT LINES OTHER THAN STREET LINES, THE MINIMUM SETBACK FOR STRUCTURES FROM EACH LOT LINE SHALL BE EQUAL TO ¾ OF THE HEIGHT OF THE STRUCTURE. FOR LOT LINES THAT ARE STREET LINES, THE MINIMUM SETBACK FOR STRUCTURES... SHALL BE MEASURED FROM THE CENTERLINE OF THAT STREET AND SHALL BE EQUAL TO ¾ OF THE HEIGHT OF THE STRUCTURE."

EXISTING BUILDING HEIGHT: 38 FT

EXISTING BUILDING LOT COVERAGE: 8,405 SF OF 13,940 SF (60%)

PROPOSED BUILDING LOT COVERAGE: 10,566 OS 13,940 SF (77%)

• 25% MINIMUM OPEN AREA; NOT LESS THAN 50% OF OPEN AREA TO BE UNOCCUPIED BY PARKING OR STRUCTURES (BUILDINGS ON LOTS EQUAL TO OR LESS THAN 45 FT IN DEPTH ARE EXEMPT FROM THE MINIMUM OPEN AREA REQUIREMENT)

UNIT LOTS (ATTACHED):

 MINIMUM WIDTH: 16' MINIMUM AREA: 1440 SF



4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

PROJECT NAME

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318

MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

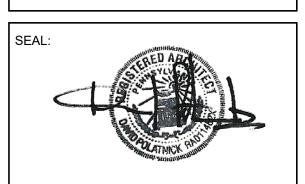
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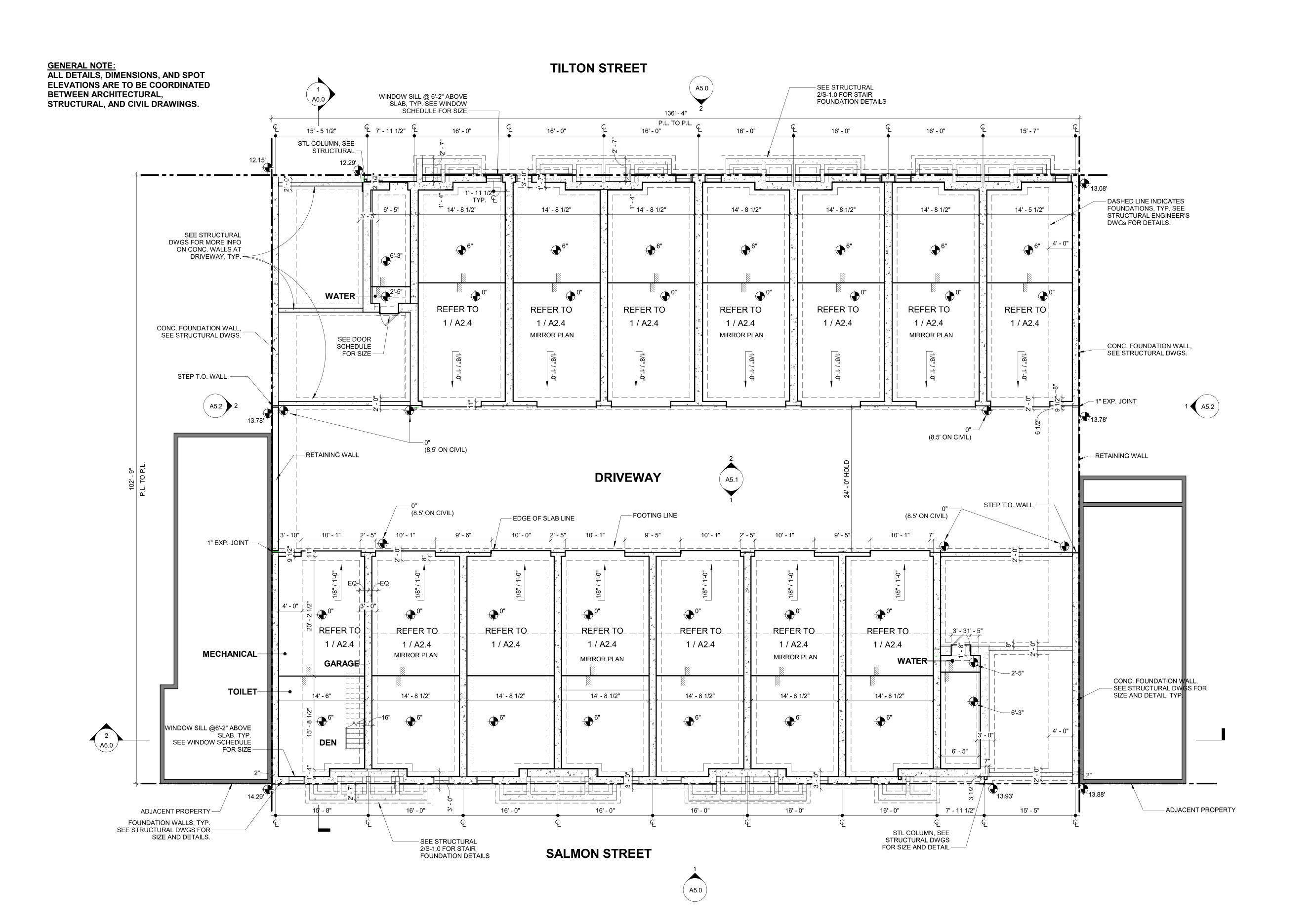
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EXISTING CONDITIONS

SCALE: 3/32" = 1'-0" | DRAWN BY: CR

09/11/20 CHECKED BY: DF

SHEET NO.





215-483-1915 FAX 215-930-0484 PROJECT NAME

SALMON STREET TOWNHOUSES

PHILADELPHIA, PA 19125

PROJECT TEAM

2656-70 SALMON ST

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL
JOSEPH BARBATO ASSOCIATES
6 DICKINSON DRIVE, #103
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PHILADELPHIA, PA 19145

CIVIL ENGINEER
MASER CONSULTING, PA
410 EAGLEVIEW BOULEVARD, SUITE 104
EXTON, PA 19341
610-254-9140

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FOOTINGS / FOUNDATION PLAN

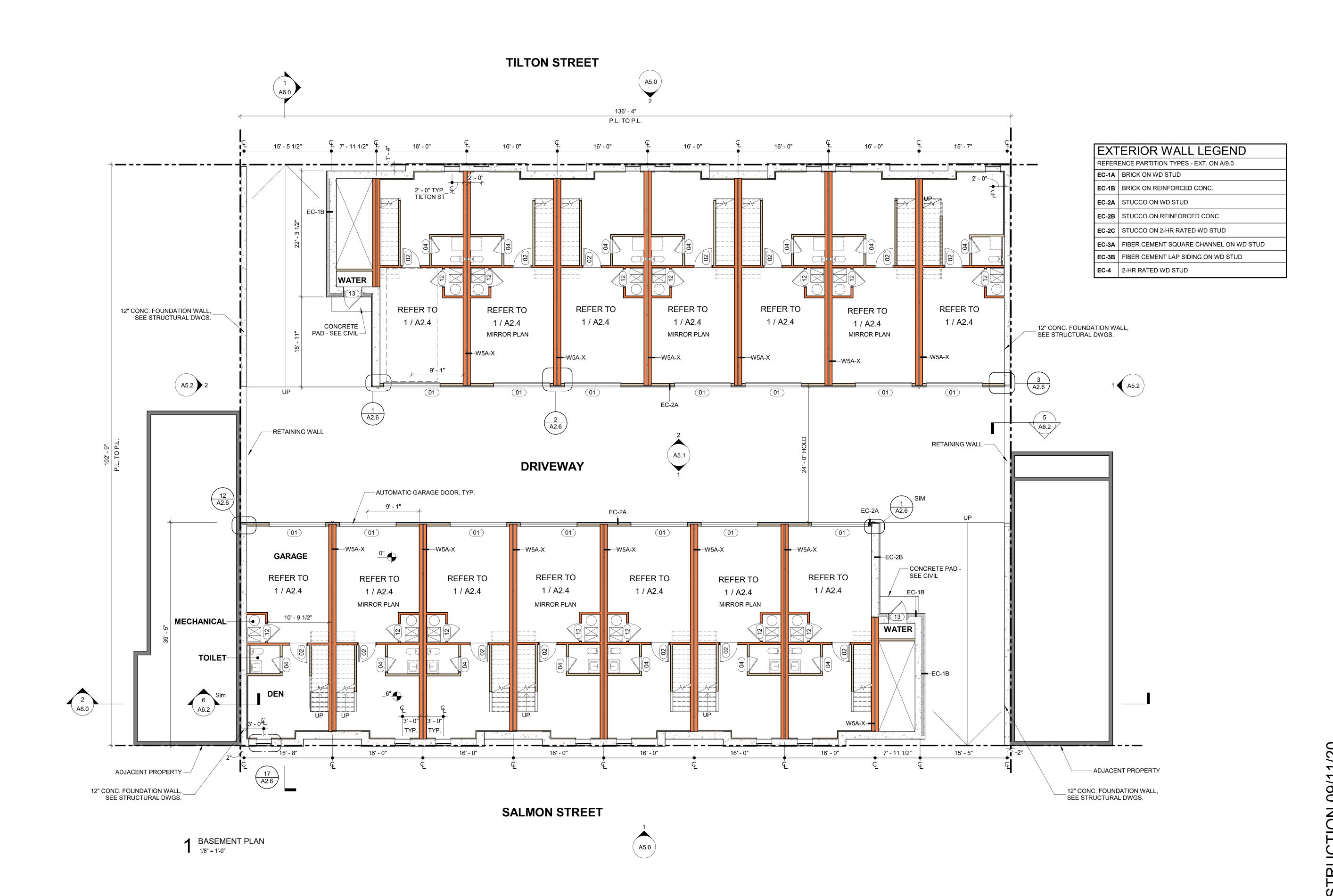
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DATE: 09/11/20 CHECKED BY: DP

SHEET NO.

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1915







215-483-1915 FAX 215-930-0484

PROJECT NAME SALMON STREET TOWNHOUSES

PROJECT TEAM

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2656-70 SALMON ST

PHILADELPHIA, PA 19125

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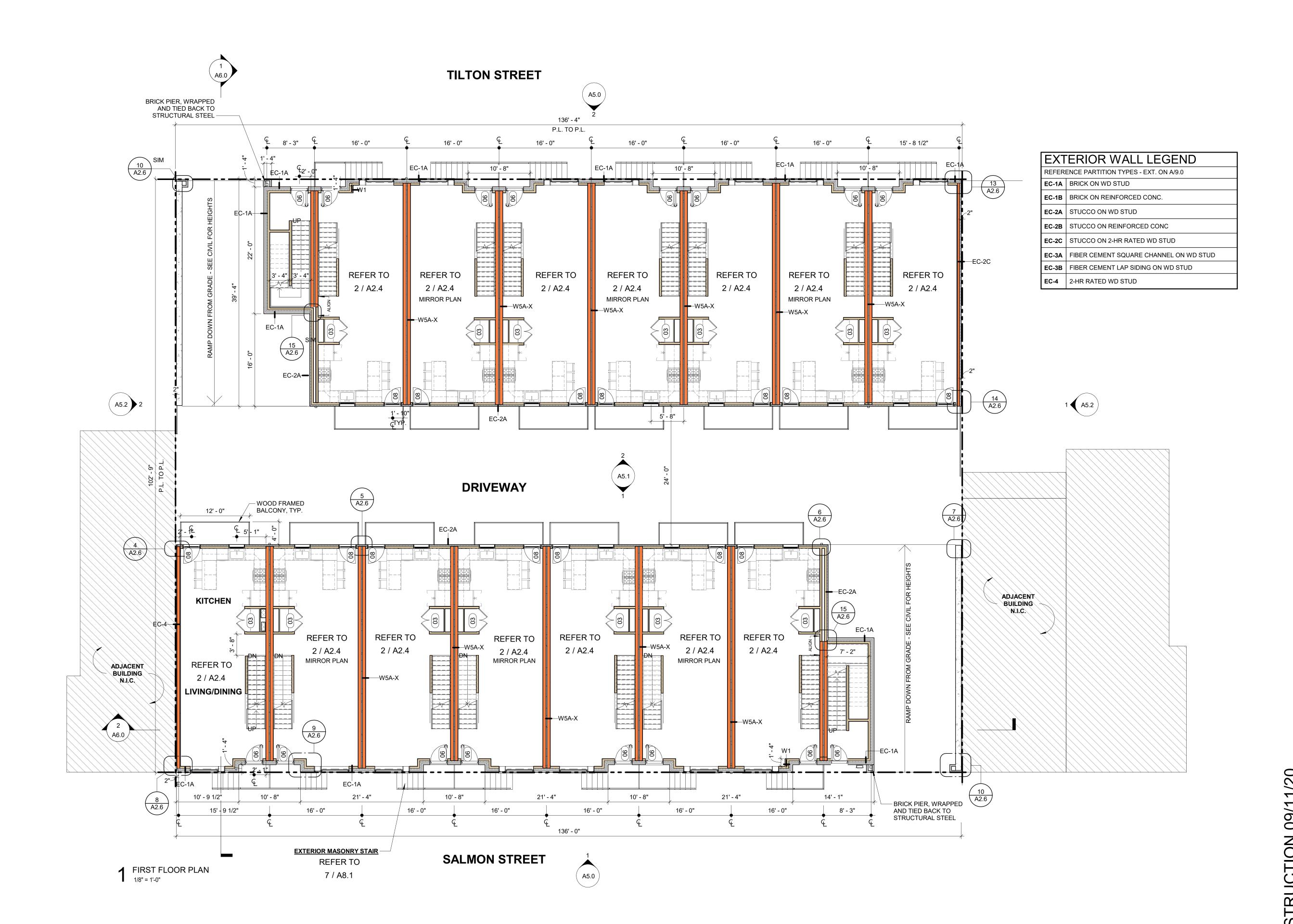
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BASEMENT PLAN

<u> </u>	SCALE:	As indicated	DRAWN BY:
5	DATE:	09/11/20	CHECKED BY:
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4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

PROJECT NAME SALMON STREET TOWNHOUSES

PROJECT TEAM

2656-70 SALMON ST

PHILADELPHIA, PA 19125

215-483-1915

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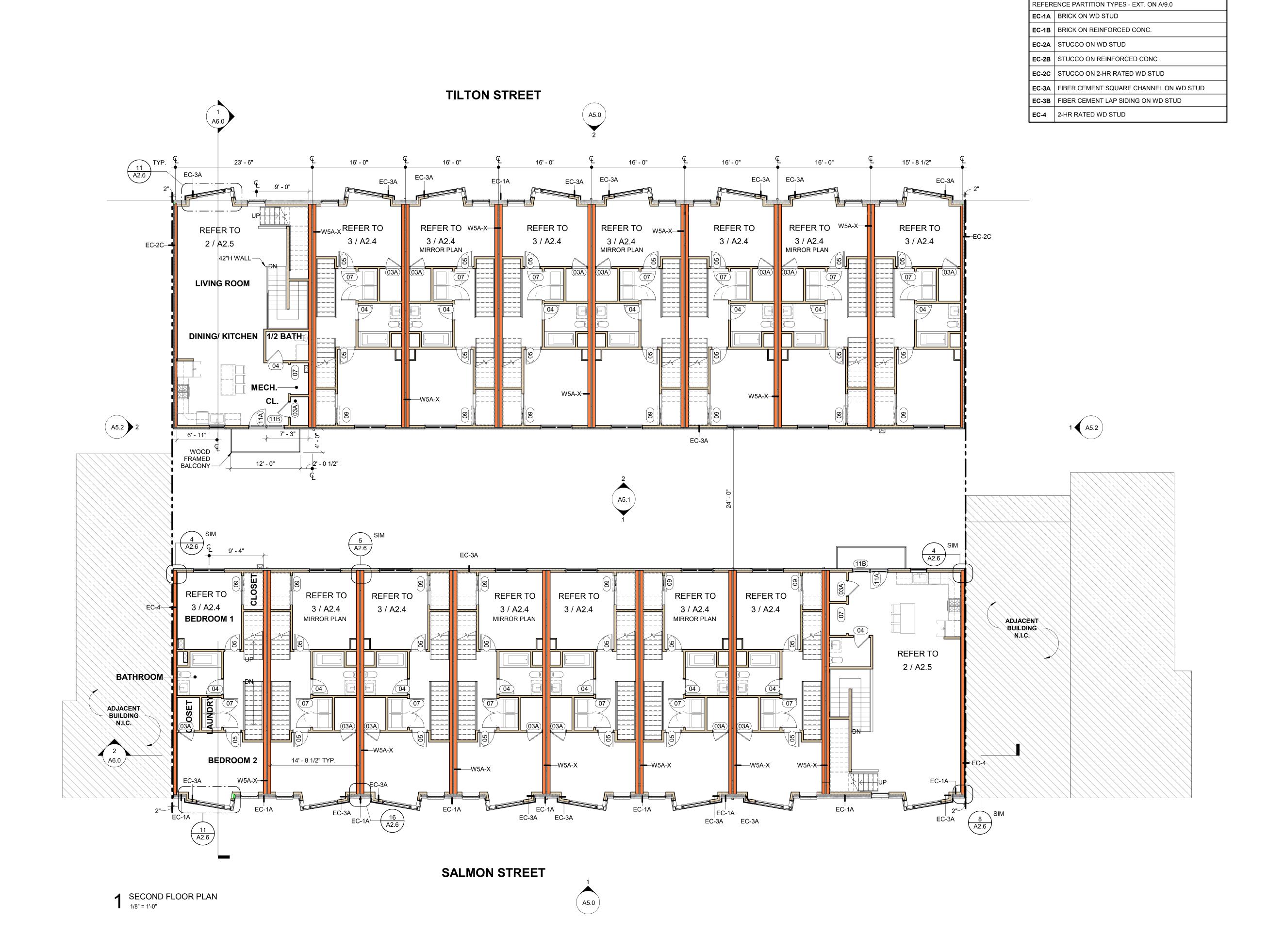
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FIRST FLOOR PLAN

SCALE: As indicated DRAWN BY: 09/11/20 | CHECKED BY:

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4593 MITCHELL ST, PHILADELPHIA, PA 19128

PROJECT NAME

EXTERIOR WALL LEGEND

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

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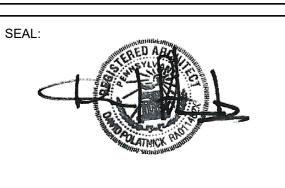
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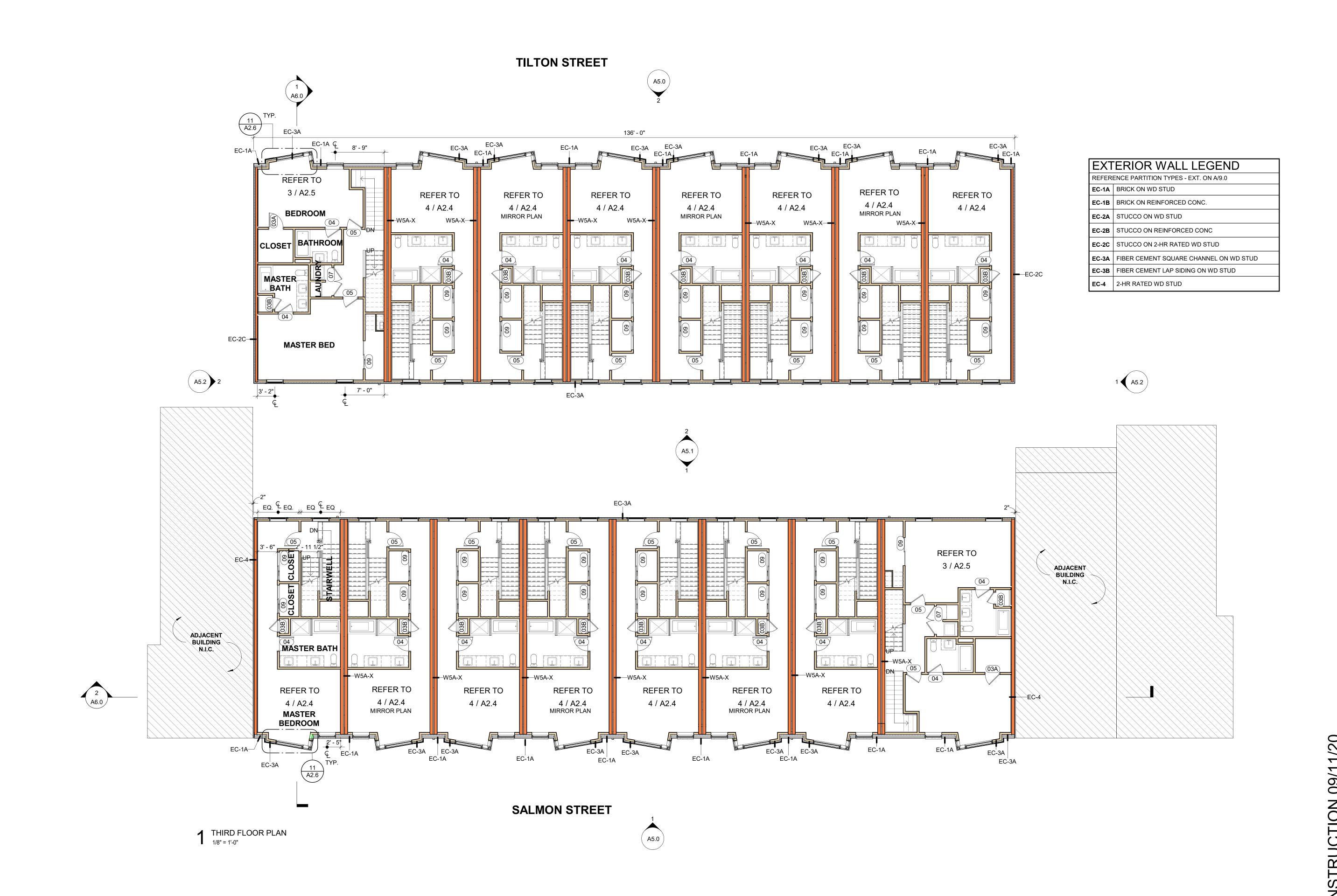
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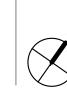
SECOND FLOOR PLAN

SCALE: As indicated DRAWN BY: 09/11/20 | CHECKED BY:

SHEET NO.

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4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

PROJECT NAME SALMON STREET TOWNHOUSES 2656-70 SALMON ST

PROJECT TEAM

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PHILADELPHIA, PA 19125

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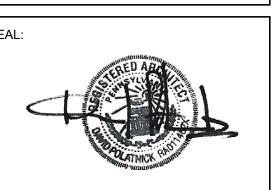
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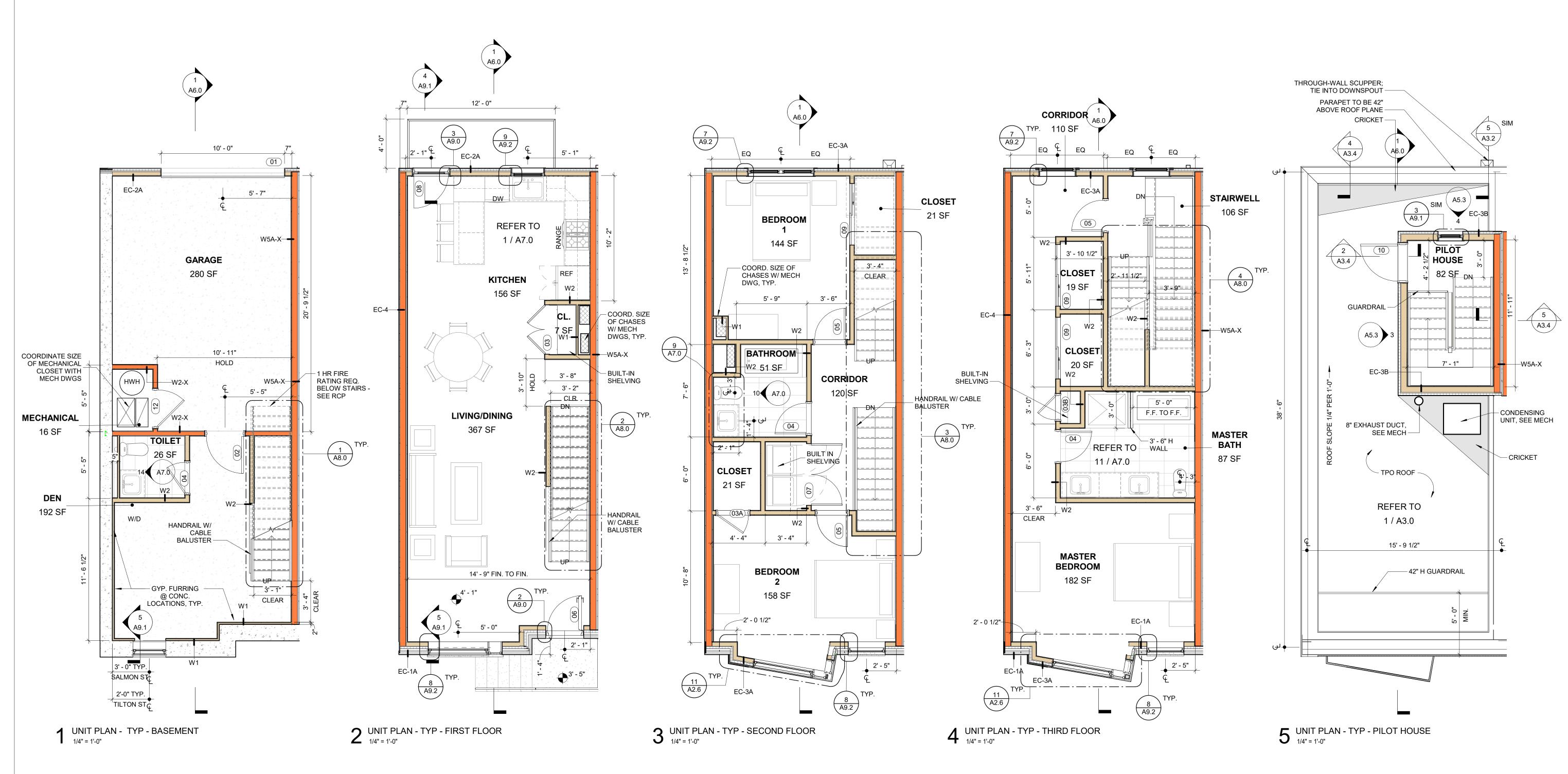
DRAWING TITLE

THIRD FLOOR PLAN

SCALE: As indicated DRAWN BY: 09/11/20 CHECKED BY: DI

SHEET NO.

1915



GENERAL NOTES:

- 1. FURNITURE SHOWN FOR REFERENCE ONLY
- 2. ALL DIMENSIONS TAKEN TO FACE OF STUD, U.N.O

P Z S ARCHITECTS

4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

PROJECT NAME

SALMON STREET TOWNHOUSES
2656-70 SALMON ST

PHILADELPHIA, PA 19125

PROJECT TEAM

215-483-1915

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STRUCTURAL
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610-558-6050 SYSTEMS

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MASER CONSULTING, PA
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EXTON, PA 19341
610-254-9140

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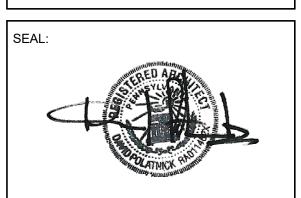
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DRAWING TITLE

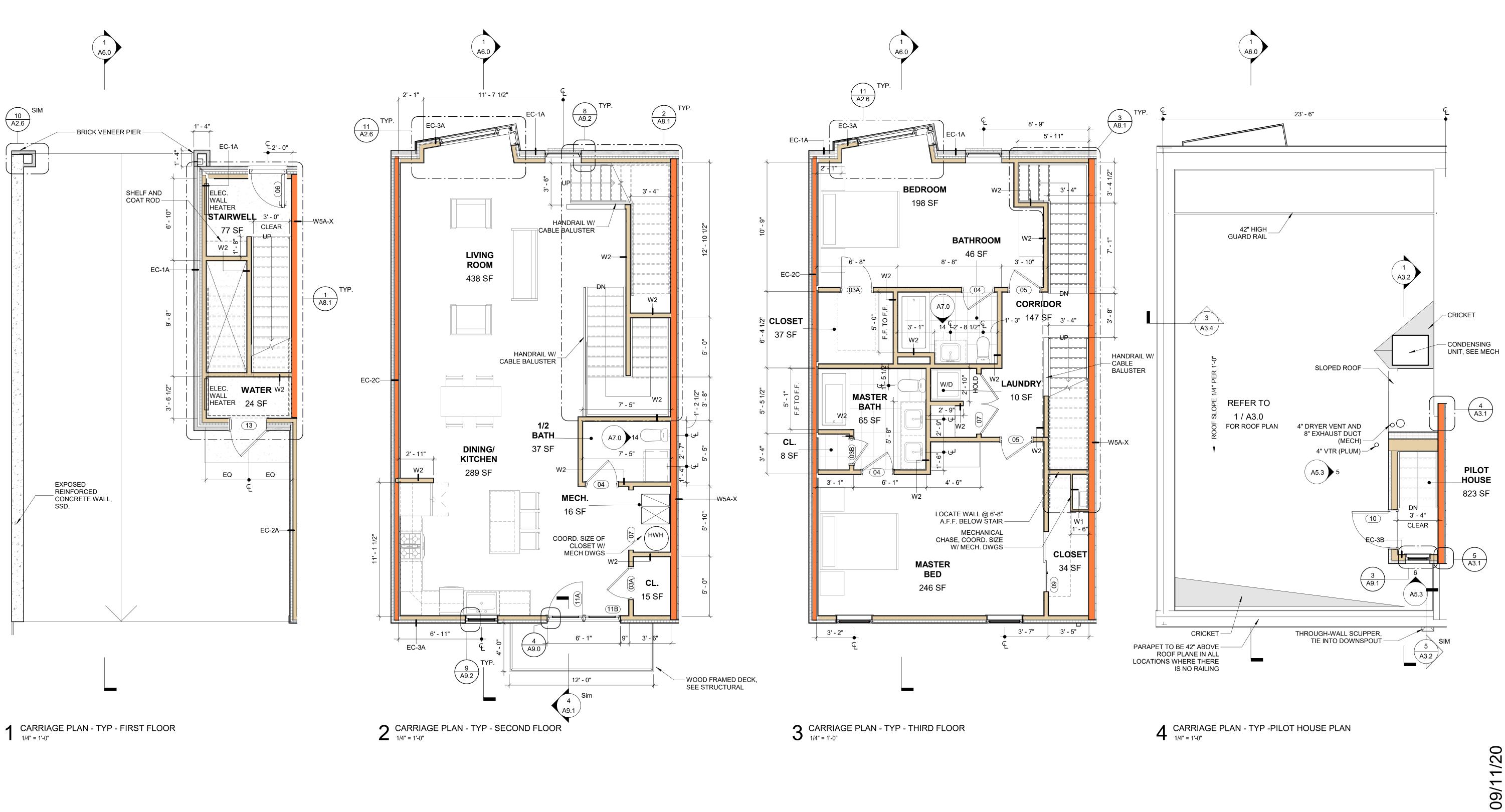
UNIT PLANS -TYPICAL

SCALE: As indicated DRAWN BY:

DATE: 09/11/20 CHECKED BY:

SHEET NO.

A2.4



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P Z S ARCHITECTS

4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484 PROJECT NAME

SALMON STREET TOWNHOUSES

PHILADELPHIA, PA 19125

2656-70 SALMON ST

PROJECT TEAM

OWNER
KIDDMA, LLC
1516 N 5TH ST, STE 212
PHILADELPHIA, PA 19122
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REVISIONS

NO. DATE ISSUE

DRAWING TITLE

UNIT PLANS -CARRIAGE HOUSE

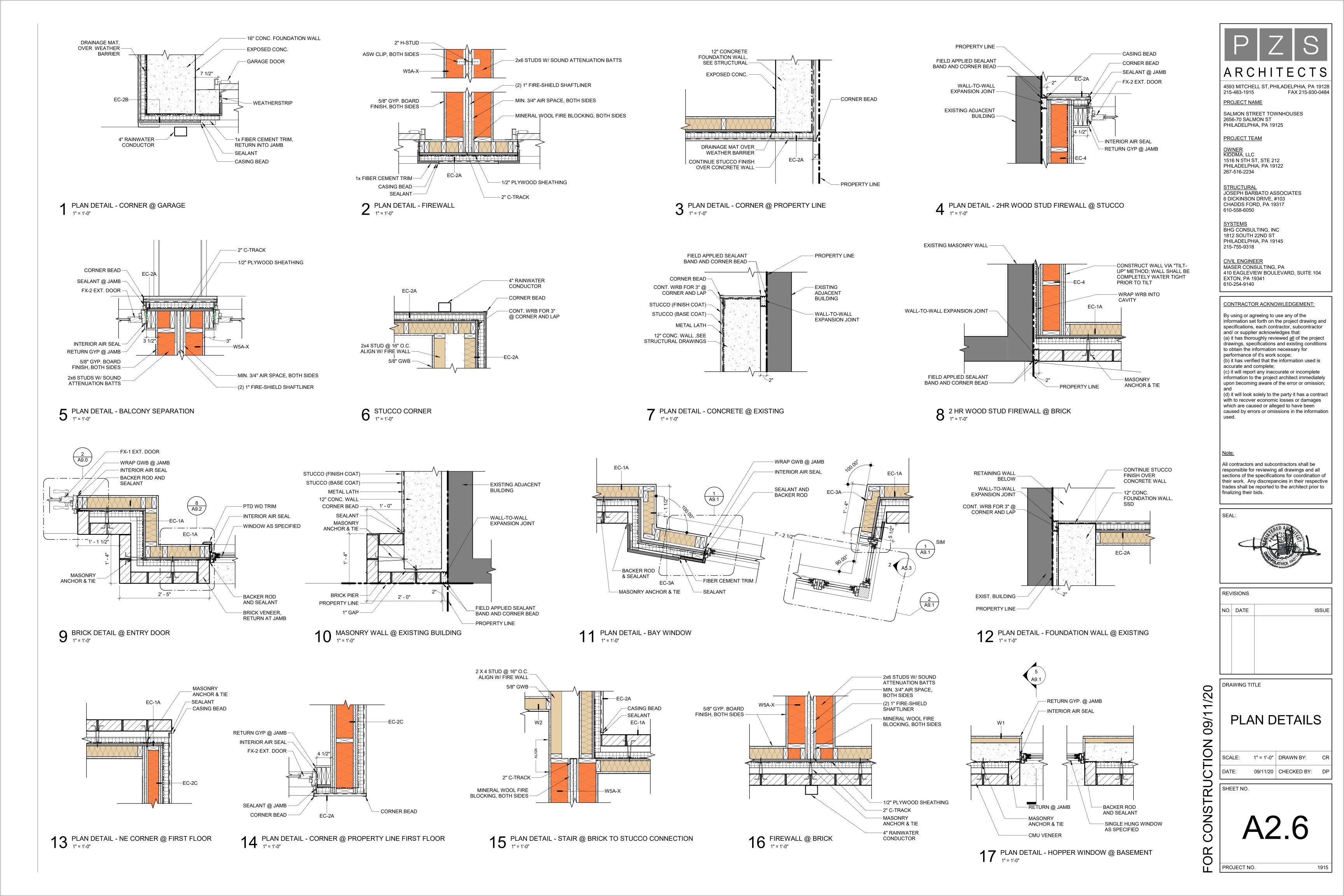
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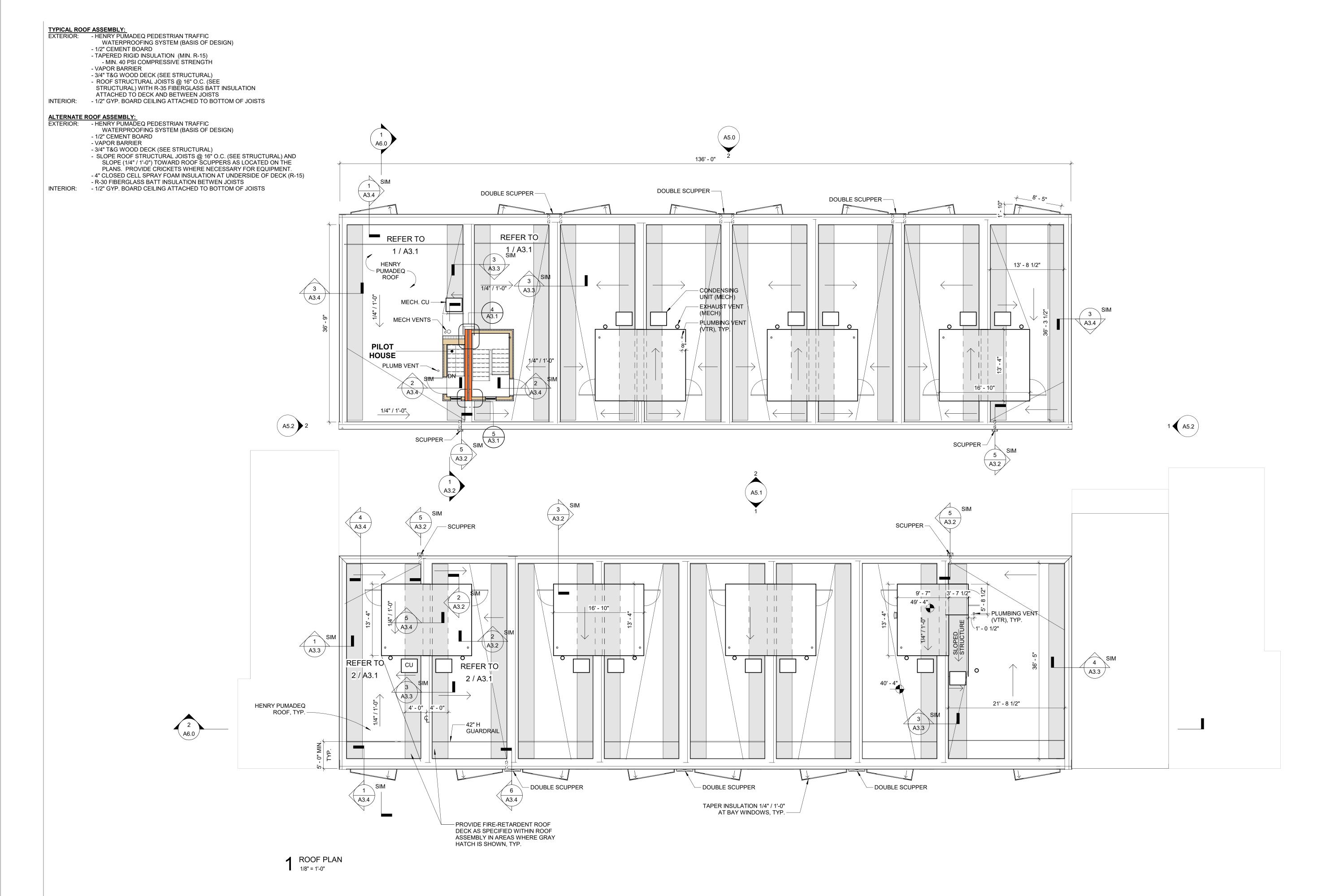
DATE: 09/11/20 CHECKED BY: DF

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1915







4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915

FAX 215-930-0484

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PROJECT TEAM

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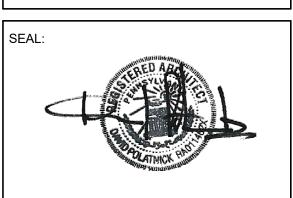
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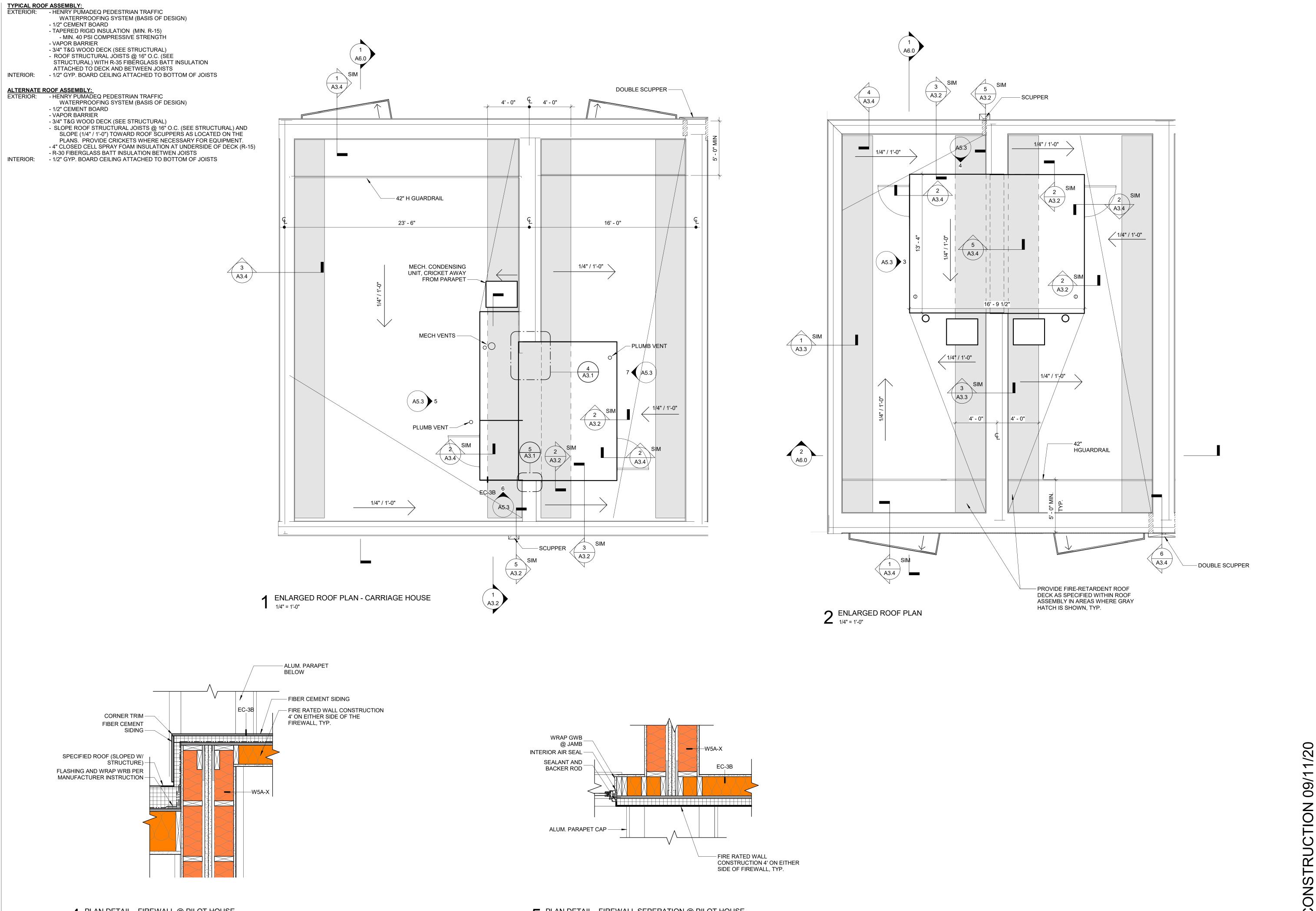
ROOF PLAN

SCALE: 1/8" = 1'-0" | DRAWN BY: 09/11/20 | CHECKED BY: DI

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1915



4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

215-483-1915 PROJECT NAME

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

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ENLARGED ROOF PLANS & **DETAILS**

SCALE: As indicated DRAWN BY: 09/11/20 CHECKED BY: DI

SHEET NO.

1915

PROJECT NO.

4 PLAN DETAIL - FIREWALL @ PILOT HOUSE 1" = 1'-0"

5 PLAN DETAIL - FIREWALL SEPERATION @ PILOT HOUSE 1" = 1'-0"

GENERAL NOTES:

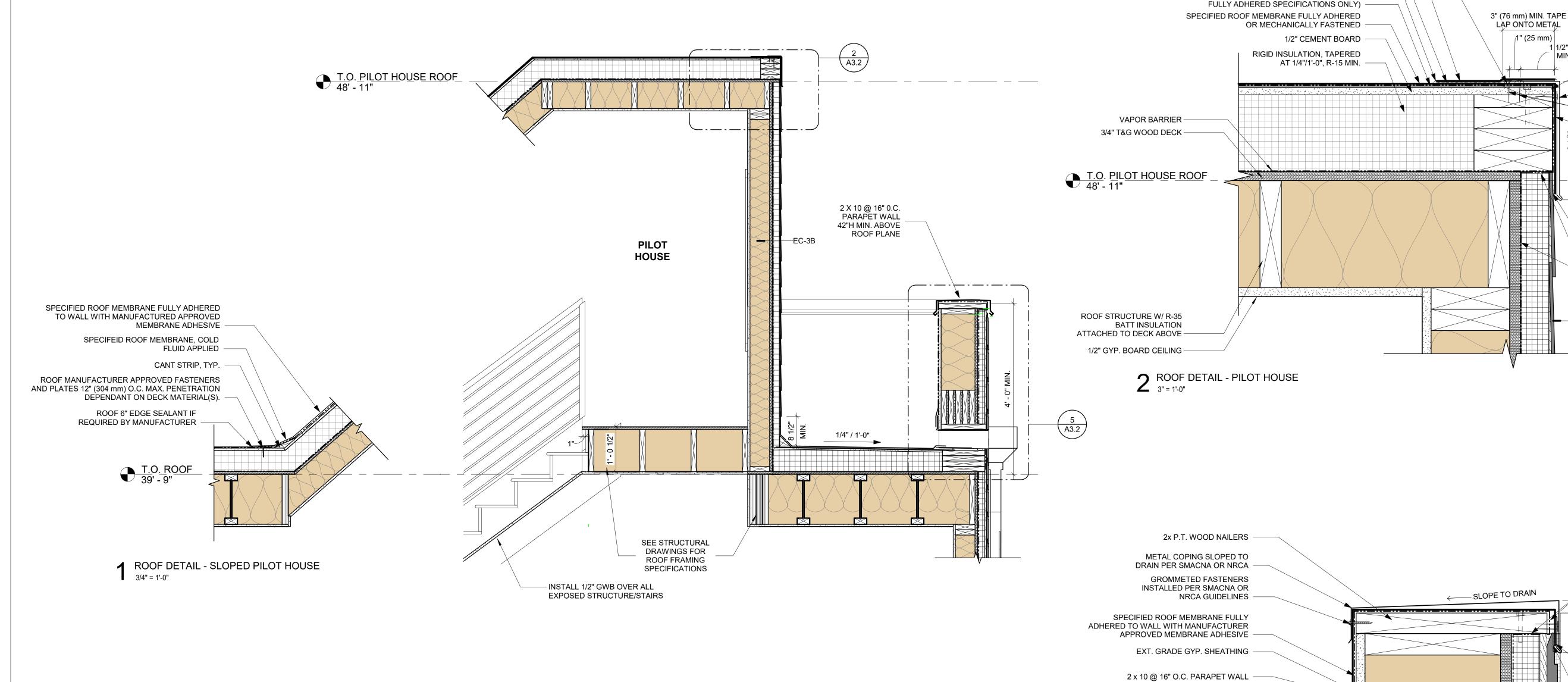
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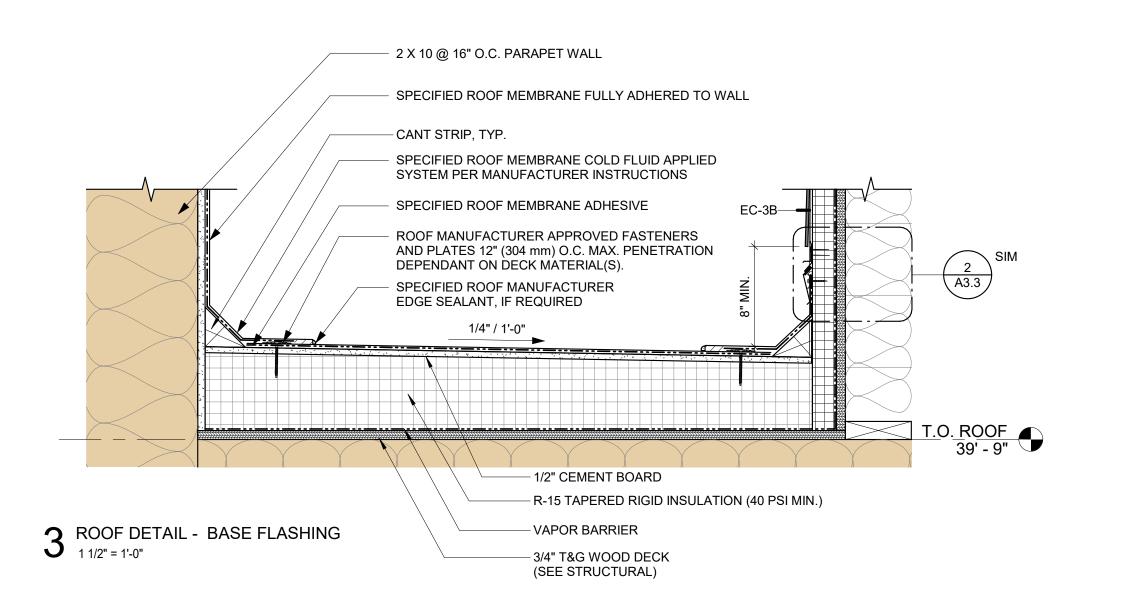
REQUIREMENTS WHICH ARE CONSIDERED A PART OF THIS DETAIL.

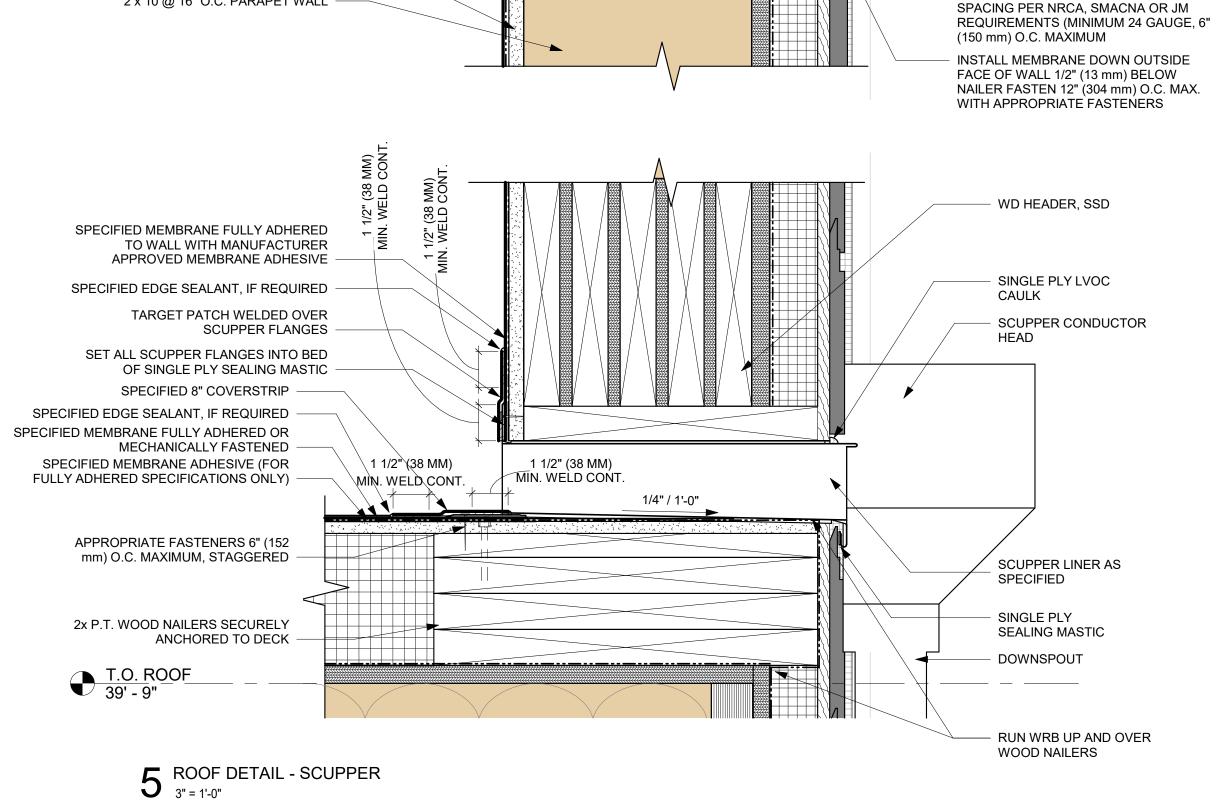
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4. ALL SEALANTS / CAULKING SHALL BE PERIODICALLY INSPECTED AND MAINTAINED BY THE BUILDING OWNER

APPROVED BY A LICENSED DESIGN PROFESSIONAL. THROUGHOUT THE LIFE OF THE ROOF.







SPECIFIED SEALING MASTIC -

SINGLE PLY LVOC CAULK ALONG BOTH EDGES

LAP ONTO METAL

1 1/2" (40 mm)

MINÌMUM

2x P.T.WOOD NAILERS

mm) O.C. STAGGERED

(150 mm) O.C. MAXIMUM

SPECIFIED SEALING MASTIC

RUN WRB UP AND OVER

WOOD NAILERS

- RUN WRB UP AND OVER

METAL CLEAT GAUGE, FASTENER AND

WOOD NAILERS

METAL EDGE

SECURELY ANCHORED TO DECK

APPROPRIATE FASTENERS 6" (152

METAL CLEAT GAUGE, FASTENER AND

REQUIREMENTS (MINIMUM 24 GAUGE, 6"

SPACING PER NRCA, SMACNA OR JM

SPECIFIED ROOF COVER TAPE

SPECIFIED ROOF MEMBRANE PRIMER

SPECIFIED ROOF MEMBRANE ADHESIVE (FOR

SHEET NO.

4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

PROJECT NAME

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

<u>OWNER</u> KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145

215-755-9318

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

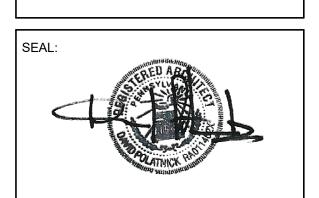
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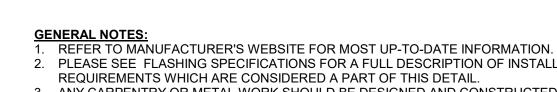


REVISIONS NO. DATE ISSUE

DRAWING TITLE

ROOF DETAILS

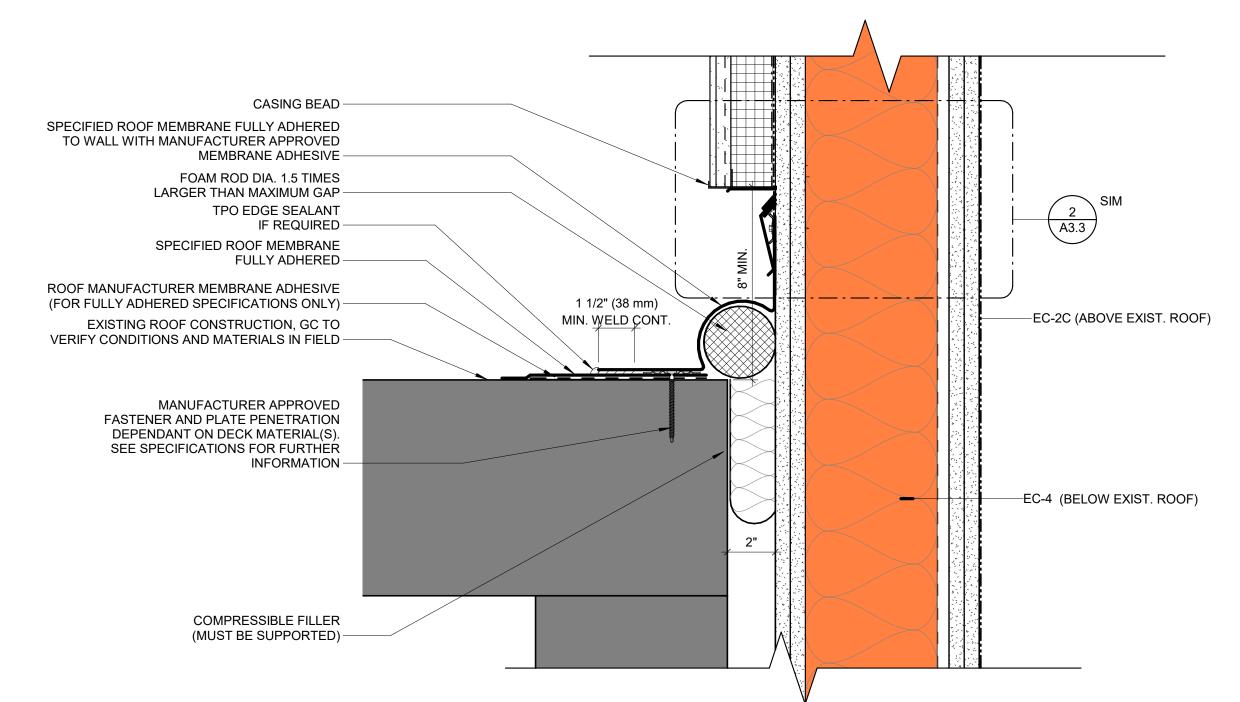
CALE: As indicated DRAWN BY: 09/11/20 | CHECKED BY: DI



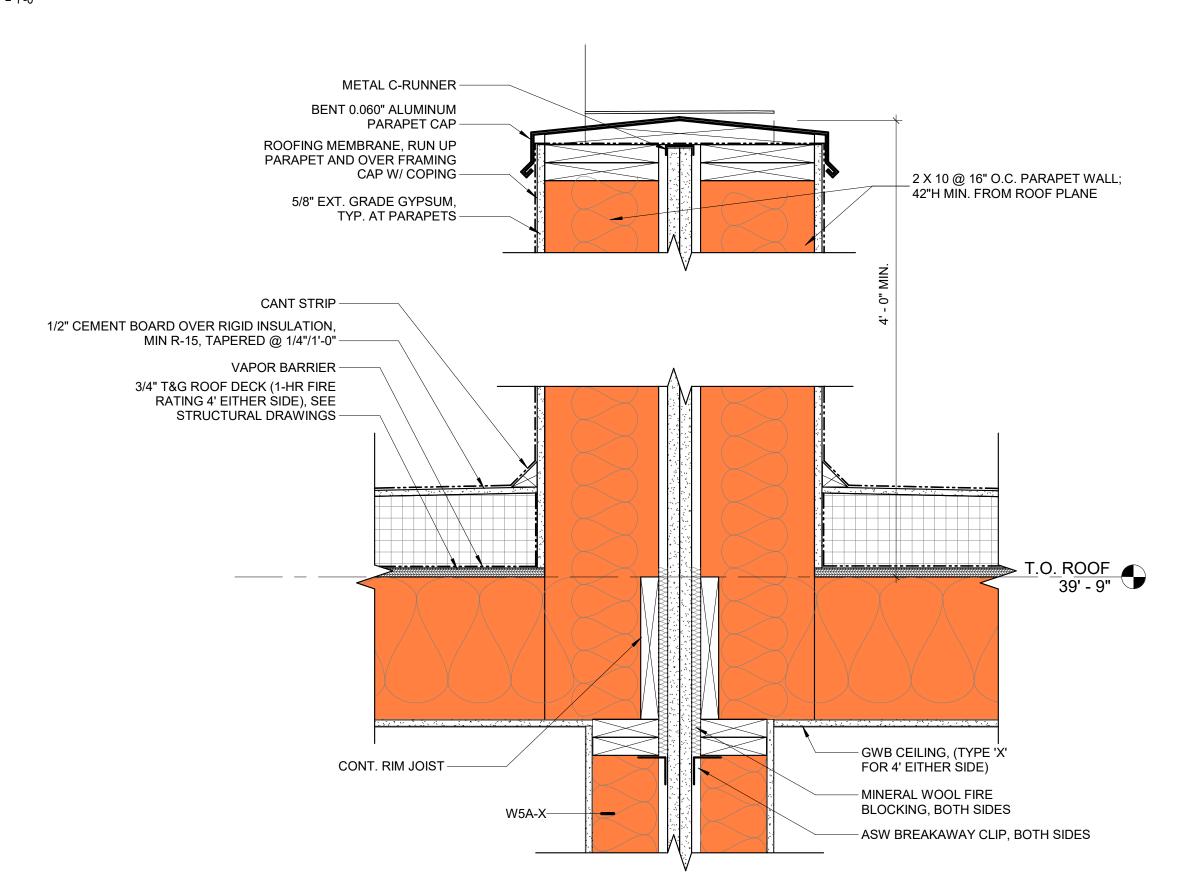
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1' - 3" SLOPE TO DRAIN \longrightarrow STUCCO FINISH (FINISH COAT) -— 2 x 10 @ 16" O.C. PARAPET WALL STUCCO FINISH (BASE COAT) -METAL LATH (1/4" OFFSET) 2" RIGID INSULATION -DRAINAGE MAT-WEATHER BARRIER, CONTINUE OVER PARAPET CAP

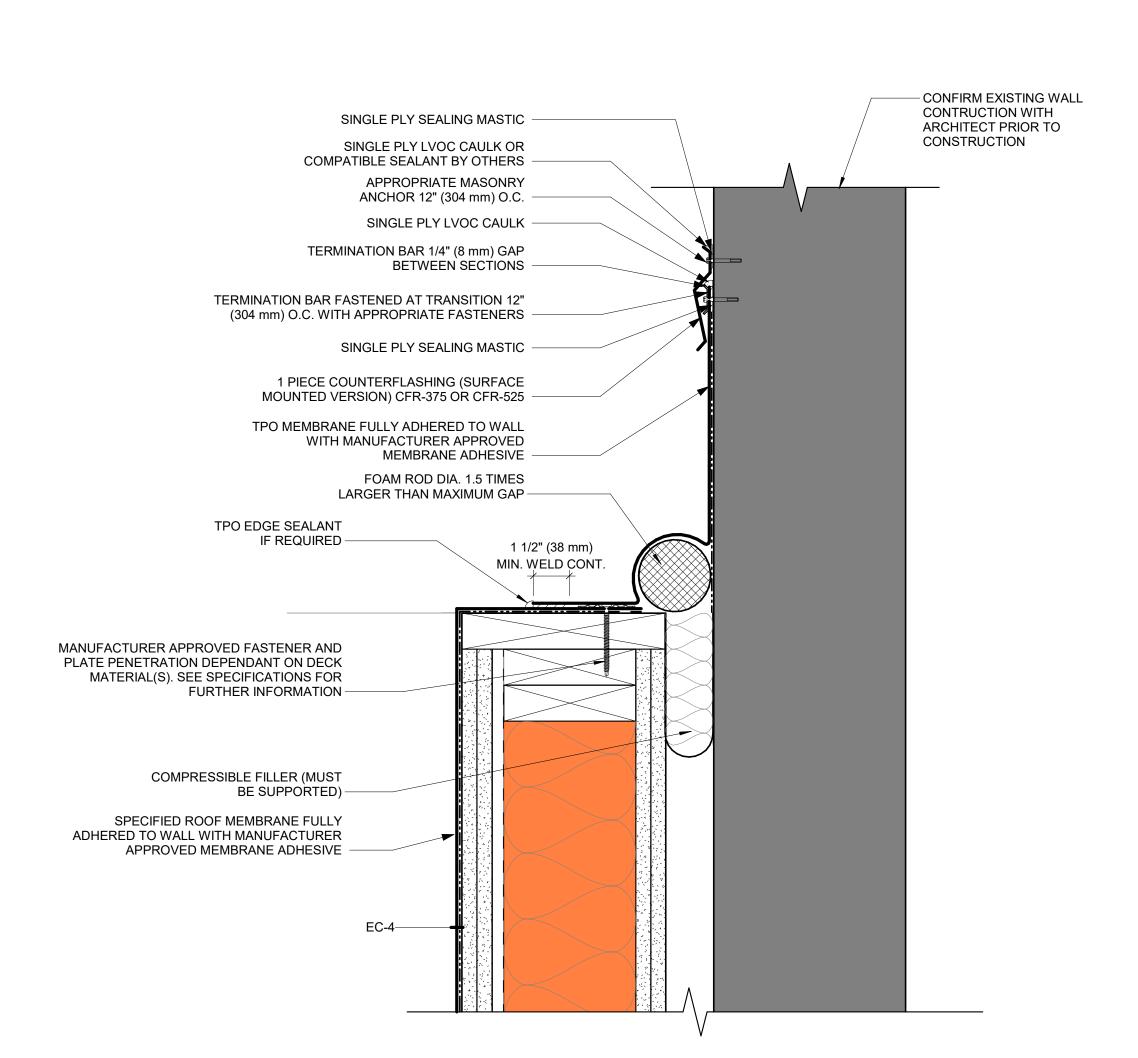


ROOF DETAIL - FIREWALL @ EXISTING LOW ROOF



STUCCO FINISH (FINISH COAT) STUCCO FINISH (BASE COAT) METAL LATH 2" RIGID INSULATION WATER RESISTIVE BARRIER, CONTINUE OVER ALUMINUM FLASHING APPROPRIATE FASTENERS - EC-2C (ABOVE EXIST. ROOF) 12" (304 mm) O.C. SINGLE PLY LVOC CAULK CASING BEAD SINGLE PLY LVOC CAULK TERMINATION BAR 1/4" (8 mm) GAP BETWEEN SECTIONS TERMINATION BAR FASTENED AT TRANSITION 12" (304 mm) O.C. WITH APPROPRIATE FASTENERS SINGLE PLY SEALING MASTIC 1 PIECE COUNTERFLASHING (SURFACE MOUNTED VERSION) EC-4 (BELOW EXIST. ROOF) CFR-375 OR CFR-525 SPECIFIED ROOF MEMBRANE FULLY ADHERED TO WALL WITH MANUFACTURER APPROVED MEMBRANE ADHESIVE

2 ROOF DETAIL - TPO TERMIATION BELOW WALL CLADDING 6" = 1'-0"



4 ROOF DETAIL - FIREWALL @ EXISTING HIGH ROOF 3" = 1'-0"

4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

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PHILADELPHIA, PA 19125

PROJECT TEAM

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JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

<u>SYSTEMS</u>

BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318

CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

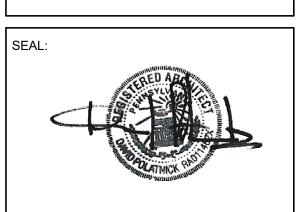
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DRAWING TITLE

ROOF DETAILS

SCALE: As indicated DRAWN BY: 09/11/20 | CHECKED BY: DF

SHEET NO.

PROJECT NO.

1915

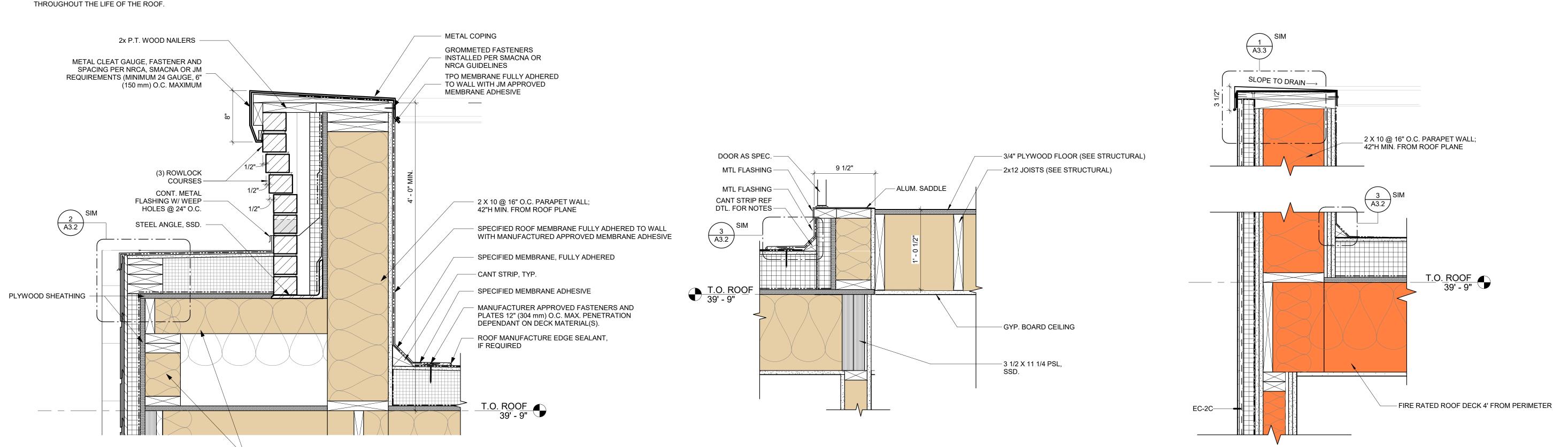
ROOF DETAIL - 2 HOUR AREA SEPARATION 1 1/2" = 1'-0"

GENERAL NOTES:

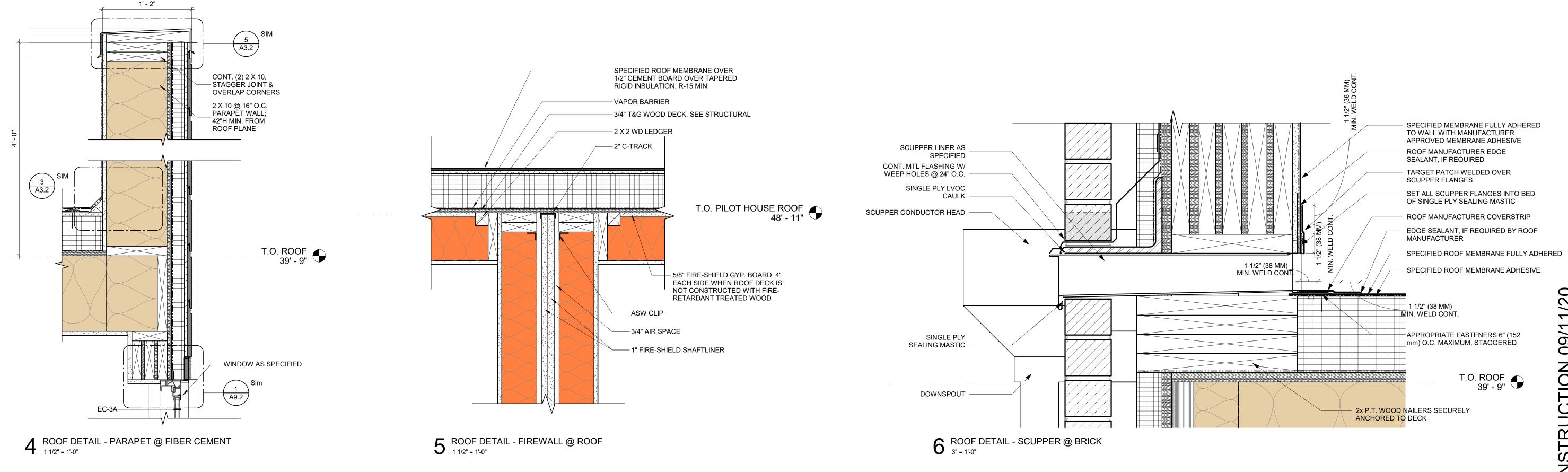
ROOF DETAIL - BUMPOUT 1 1/2" = 1'-0"

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- 2 X 6 WD STUDS @ 16" O.C.



2 ROOF DETAIL - PILOT HOUSE DOOR 1 1/2" = 1'-0"





PROJECT NAME

SALMON STREET TOWNHOUSES

PHILADELPHIA, PA 19125

2656-70 SALMON ST

PROJECT TEAM

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STRUCTURAL
JOSEPH BARBATO ASSOCIATES
6 DICKINSON DRIVE, #103
CHADDS FORD, PA 19317
610-558-6050

SYSTEMS

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CIVIL ENGINEER
MASER CONSULTING, PA
410 EAGLEVIEW BOULEVARD, SUITE 104
EXTON, PA 19341
610-254-9140

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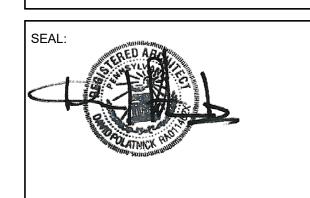
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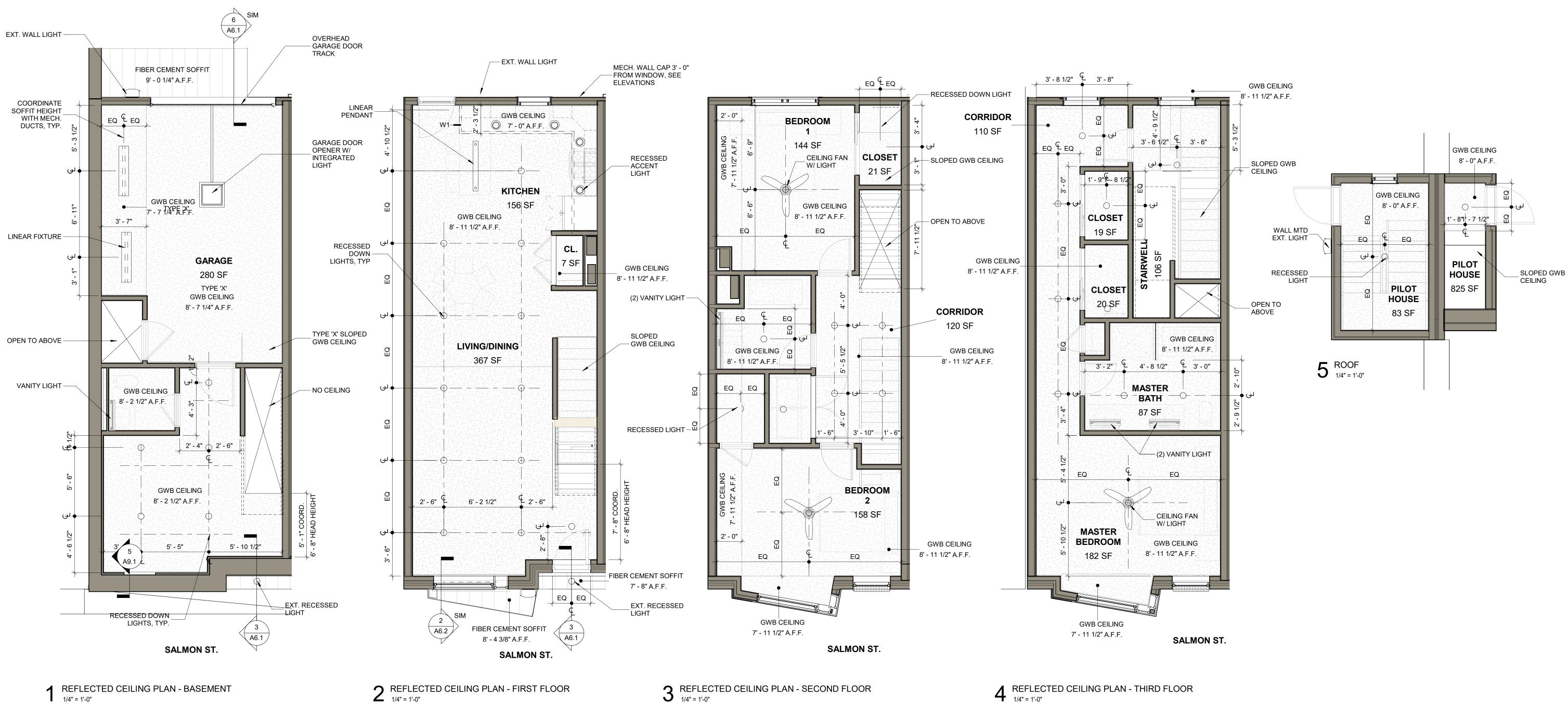
ROOF DETAILS

SCALE: As indicated DRAWN BY: CF

DATE: 09/11/20 CHECKED BY: DI

SHEET NO.

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4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484 PROJECT NAME SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125 PROJECT TEAM OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212

PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL
JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317 610-558-6050

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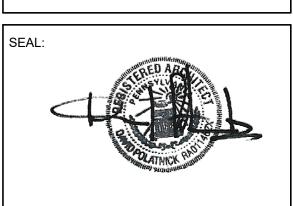
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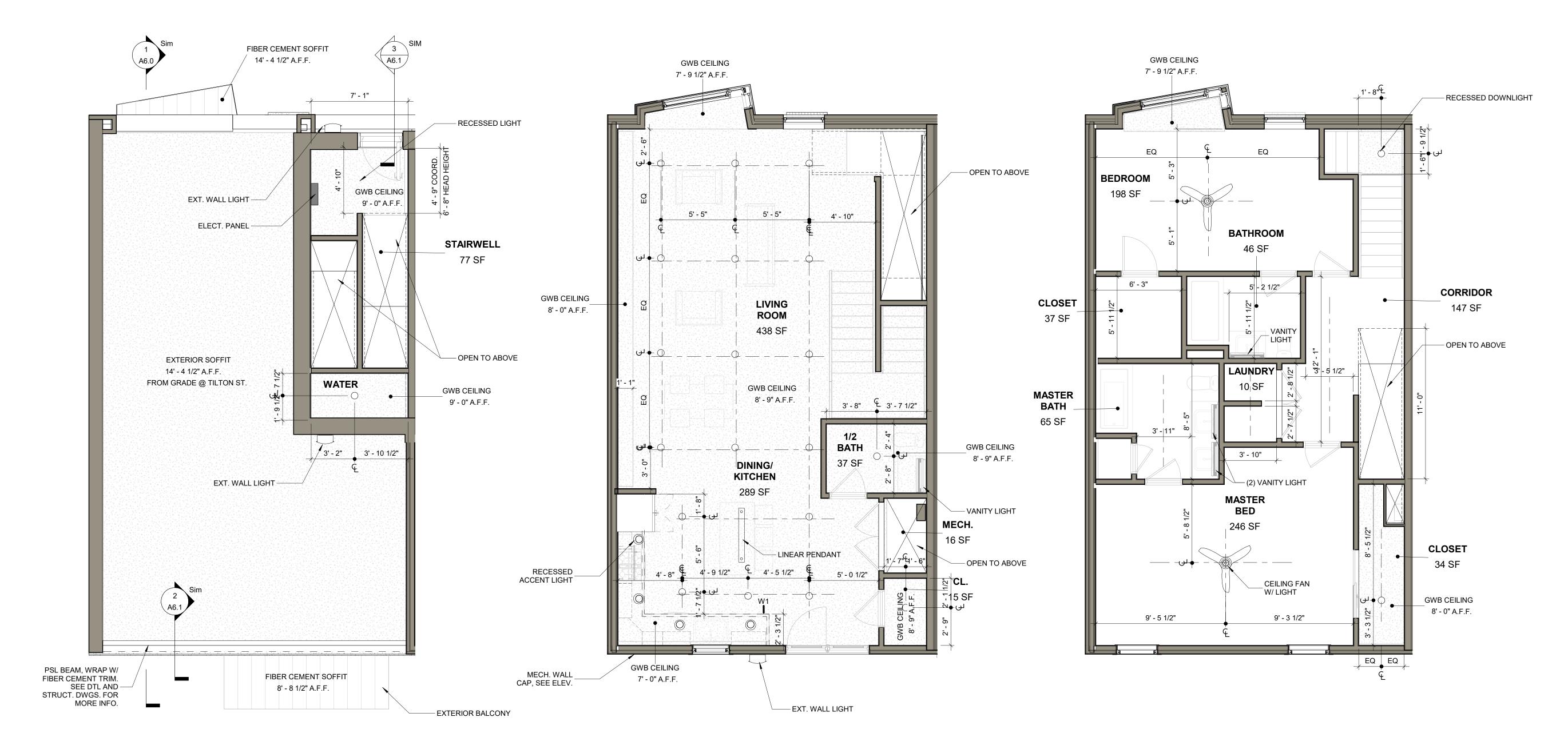
REVISIONS NO. DATE ISSUE

REFLECTED **CEILING PLANS** - TYP UNIT

SCALE: 1/4" = 1'-0" DRAWN BY: 09/11/20 | CHECKED BY: DI

SHEET NO.

1915



REFLECTED CEILING PLAN - FIRST FLOOR - CARRIAGE HOUSE 1/4" = 1'-0"

2 REFLECTED CEILING PLAN - SECOND FLOOR - CARRIAGE HOUSE 1/4" = 1'-0"

REFLECTED CEILING PLAN - THIRD FLOOR - CARRIAGE HOUSE 1/4" = 1'-0"



PROJECT NAME SALMON STREET TOWNHOUSES 2656-70 SALMON ST

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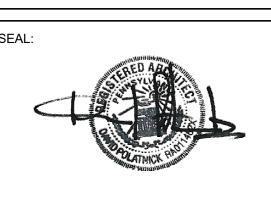
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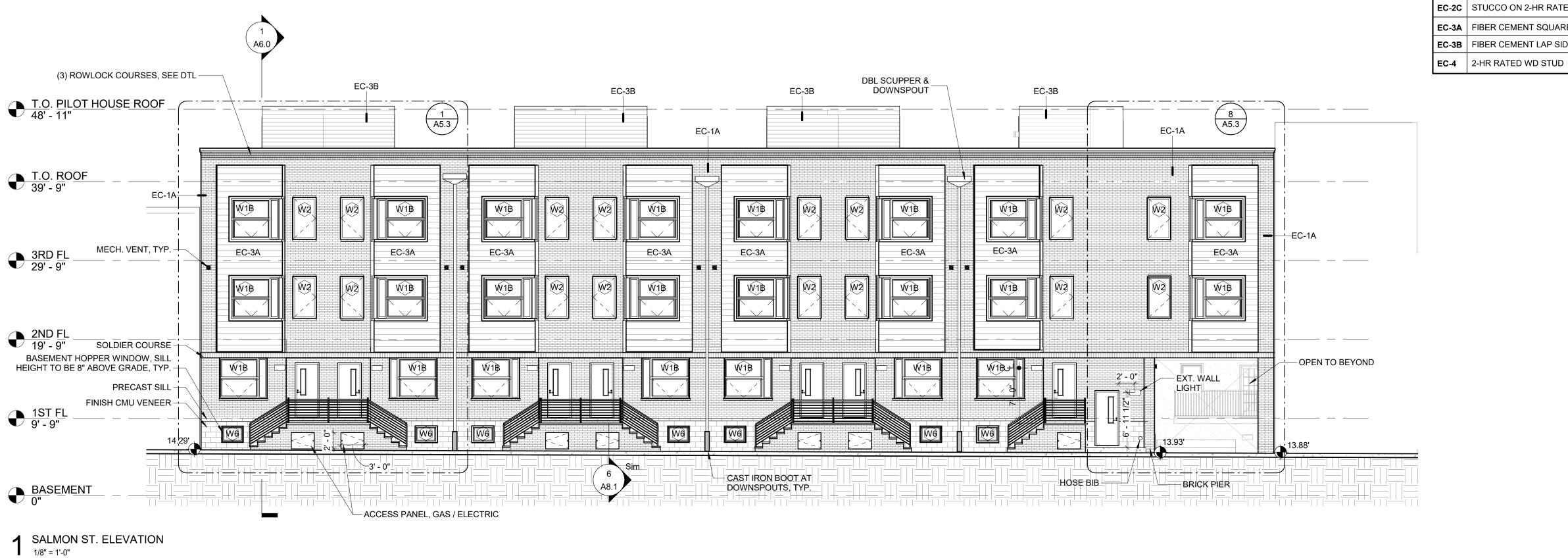
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NO.	DATE	ISSU

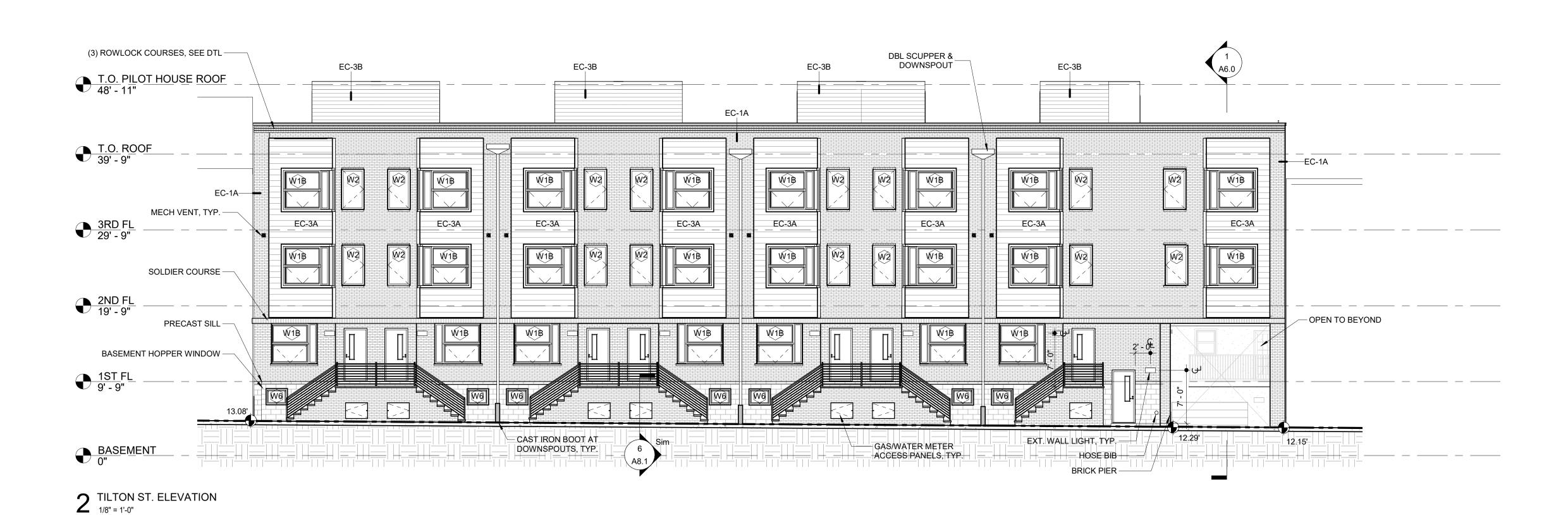
DRAWING TITLE REFLECTED **CEILING PLAN -CARRIAGE UNIT** SCALE: 1/4" = 1'-0" | DRAWN BY: CR

SHEET NO.

09/11/20 | CHECKED BY: DF

1915





EXTERIOR WALL LEGEND

REFERENCE PARTITION TYPES - EXT. ON A/9.0

EC-1A BRICK ON WD STUD

EC-1B BRICK ON REINFORCED CONC.

EC-2A STUCCO ON WD STUD

EC-2B STUCCO ON REINFORCED CONC

EC-2C STUCCO ON 2-HR RATED WD STUD

EC-3A FIBER CEMENT SQUARE CHANNEL ON WD STUD

EC-3B FIBER CEMENT LAP SIDING ON WD STUD

P Z S ARCHITECTS

4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

PROJECT NAME
SALMON STREET TOW

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

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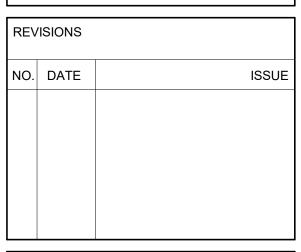
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DRAWING TITLE

EXTERIOR ELEVATIONS

SCALE: As indicated DRAWN BY:

DATE: 09/11/20 CHECKED BY: DI

SHEET NO.

CONS

A5.0

1915







2 TILTON ST COURTYARD ELEVATION 1/8" = 1'-0"

REFERENCE PARTITION TYPES - EXT. ON A/9.0 EC-1A BRICK ON WD STUD **EC-1B** BRICK ON REINFORCED CONC. EC-2A STUCCO ON WD STUD

EC-2C | STUCCO ON 2-HR RATED WD STUD

EC-4 2-HR RATED WD STUD

EXTERIOR WALL LEGEND **EC-2B** STUCCO ON REINFORCED CONC EC-3A | FIBER CEMENT SQUARE CHANNEL ON WD STUD EC-3B FIBER CEMENT LAP SIDING ON WD STUD

4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 PROJECT NAME SALMON STREET TOWNHOUSES

> PHILADELPHIA, PA 19125 PROJECT TEAM

2656-70 SALMON ST

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NO.	DATE	ISSUE

DRAWING TITLE /20

EXTERIOR ELEVATIONS

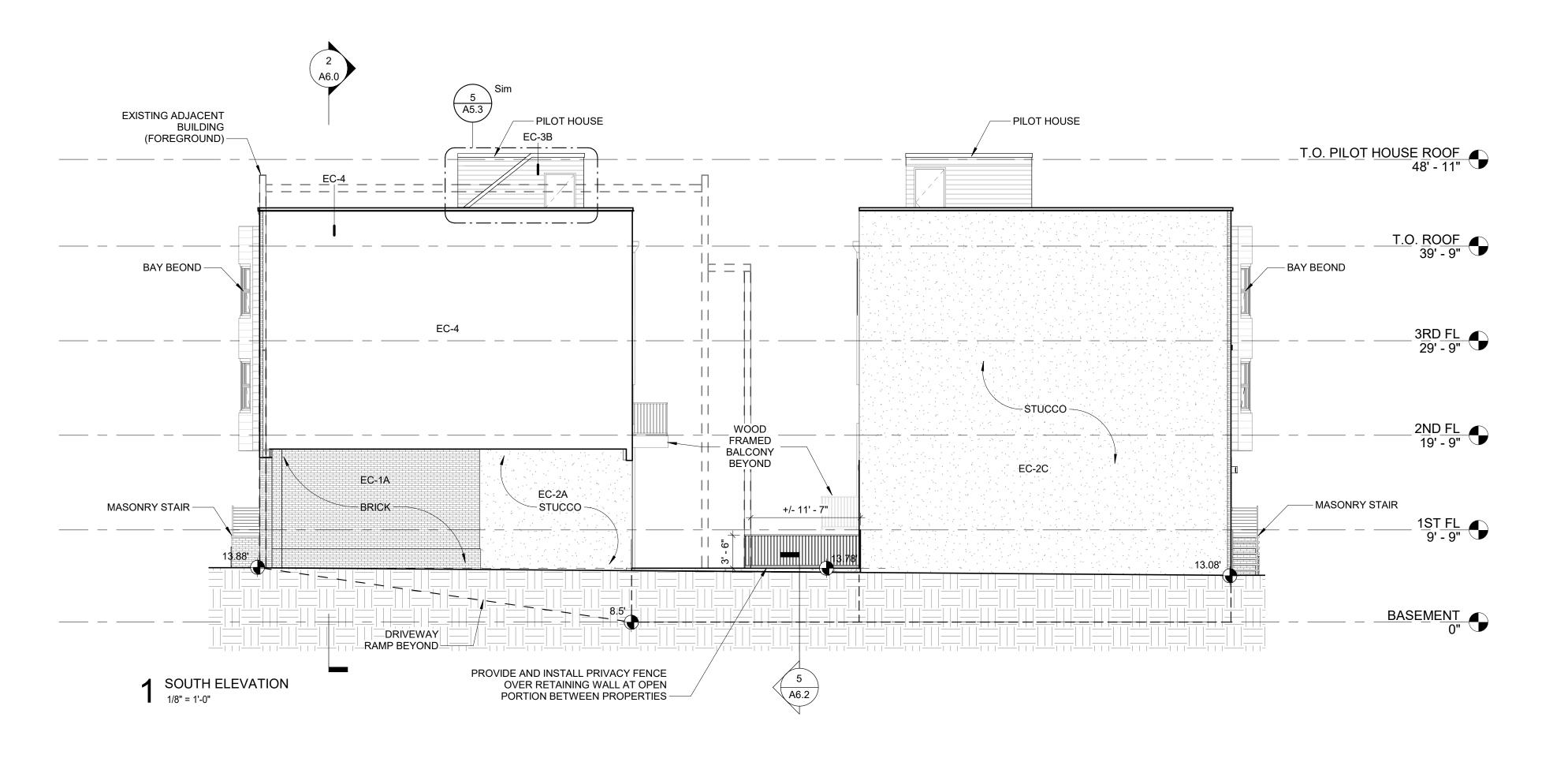
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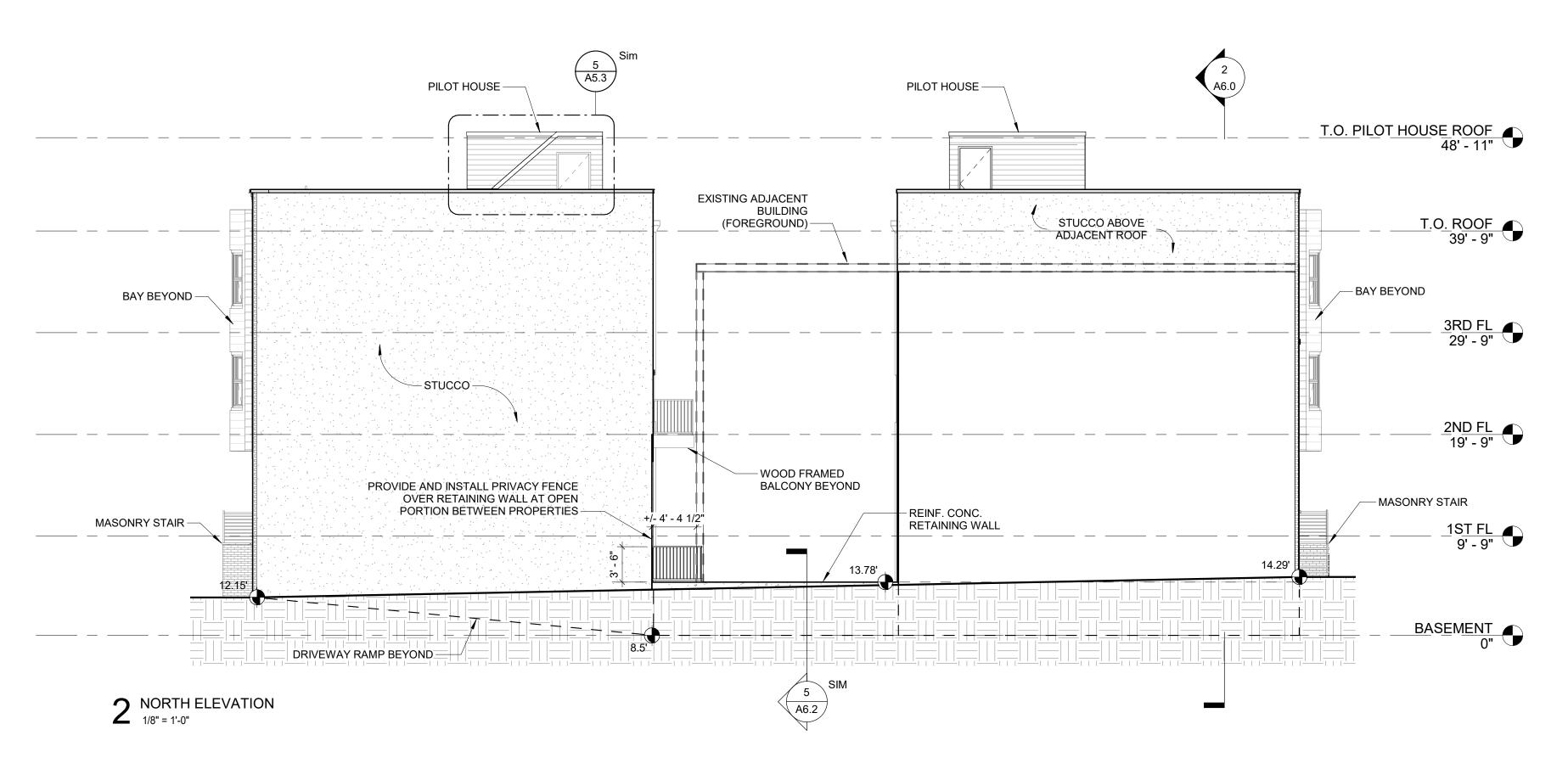
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EC-2A STUCCO ON WD STUD

EC-3A | FIBER CEMENT SQUARE CHANNEL ON WD STUD

EC-4 2-HR RATED WD STUD

EXTERIOR WALL LEGEND

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EC-2B | STUCCO ON REINFORCED CONC

EC-2C STUCCO ON 2-HR RATED WD STUD

EC-3B | FIBER CEMENT LAP SIDING ON WD STUD

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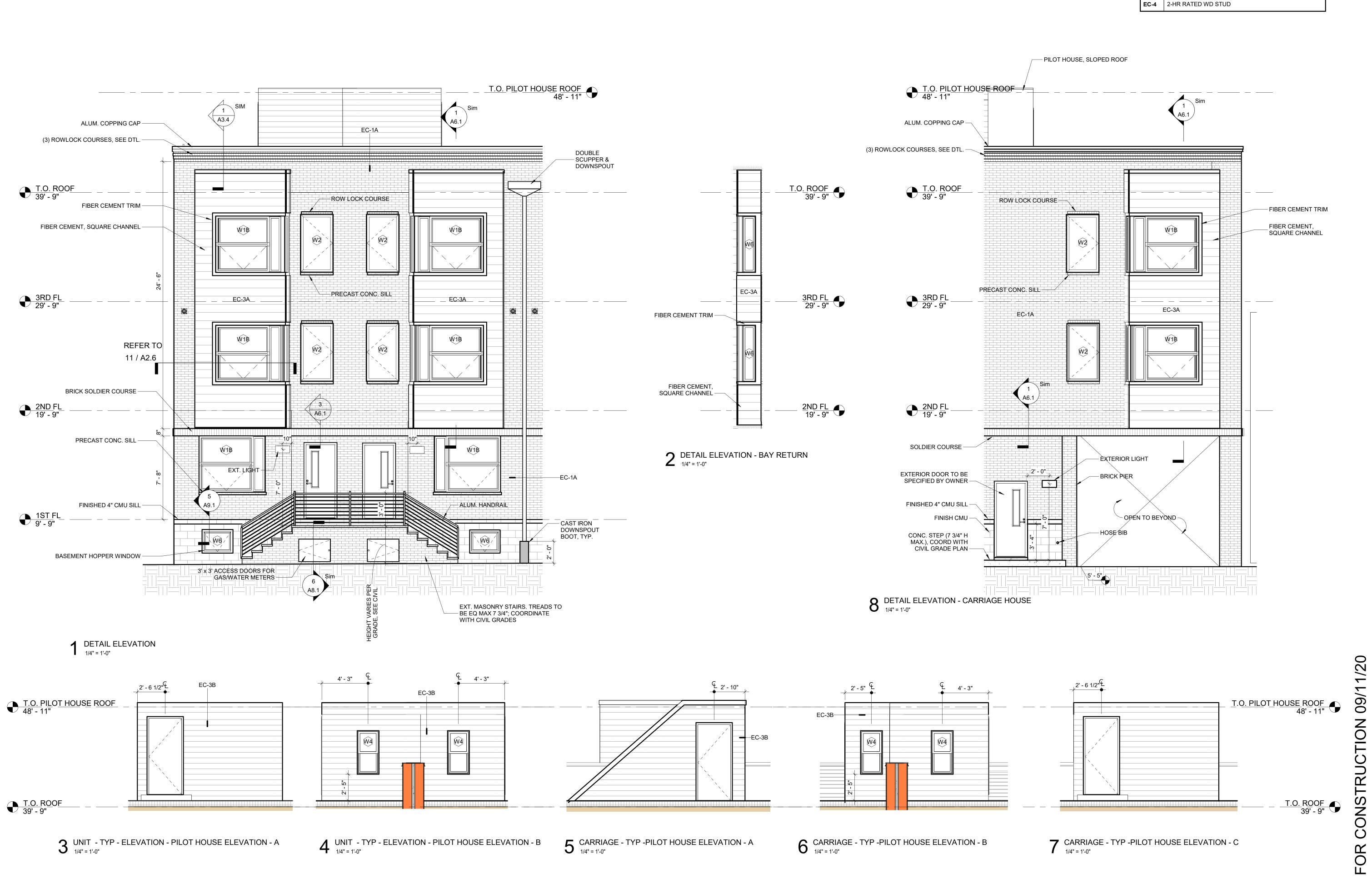
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NO.	DATE	ISSUE	

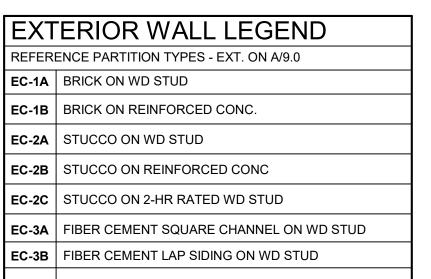
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NO.	DATE	ISS



ELEVATIONS

SCALE: 1/4" = 1'-0" DRAWN BY: 09/11/20 | CHECKED BY:

SHEET NO.





3 TILTON ST



2 SALMON ST ELEVATION



4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484 PROJECT NAME

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL
JOSEPH BARBATO ASSOCIATES
6 DICKINSON DRIVE, #103
CHADDS FORD, PA 19317
610-558-6050

SYSTEMS
BHG CONSULTING, INC
1812 SOUTH 22ND ST
PHILADELPHIA, PA 19145

215-755-9318

CIVIL ENGINEER

MASER CONSULTING, PA
410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

CONTRACTOR ACKNOWLEDGEMENT:

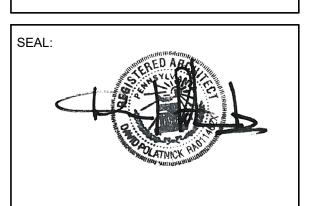
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REVISIONS				
NO.	DATE	ISSUE		

DRAWING TITLE

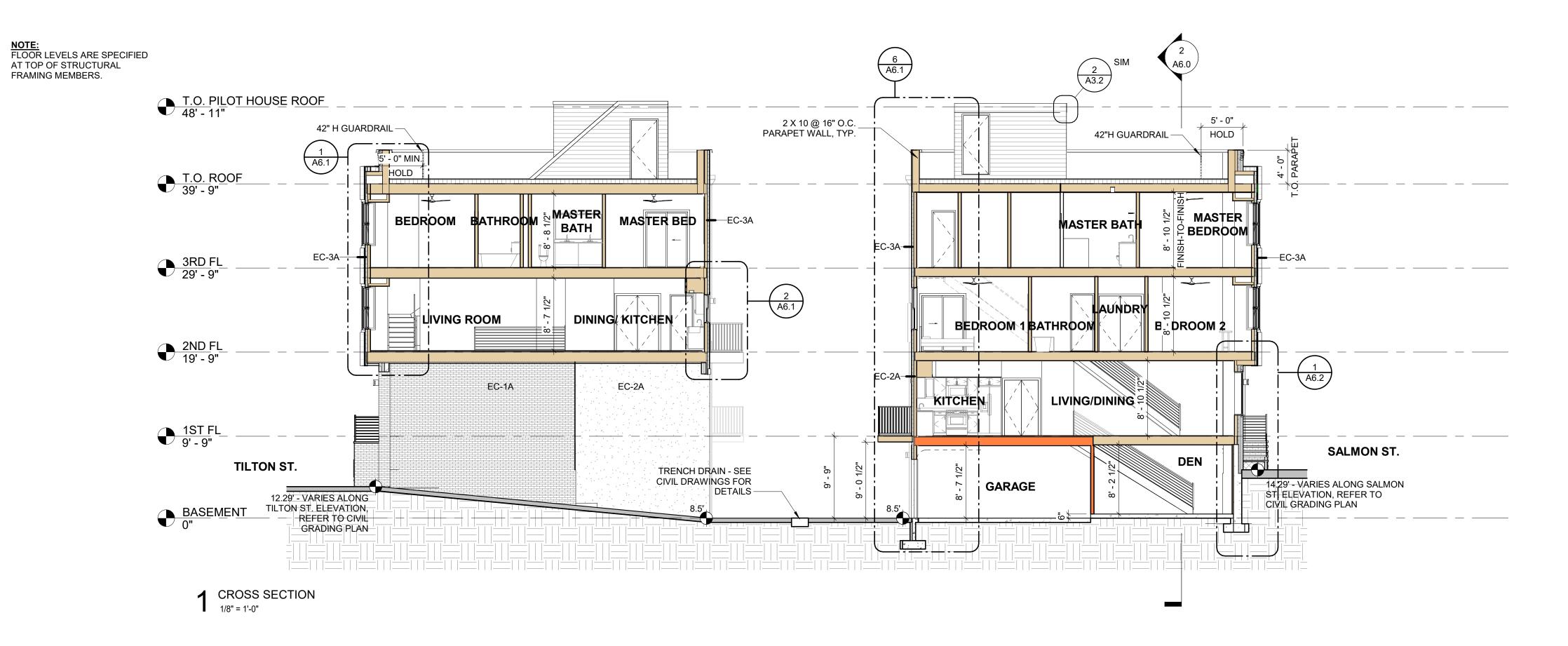
3D VIEWS

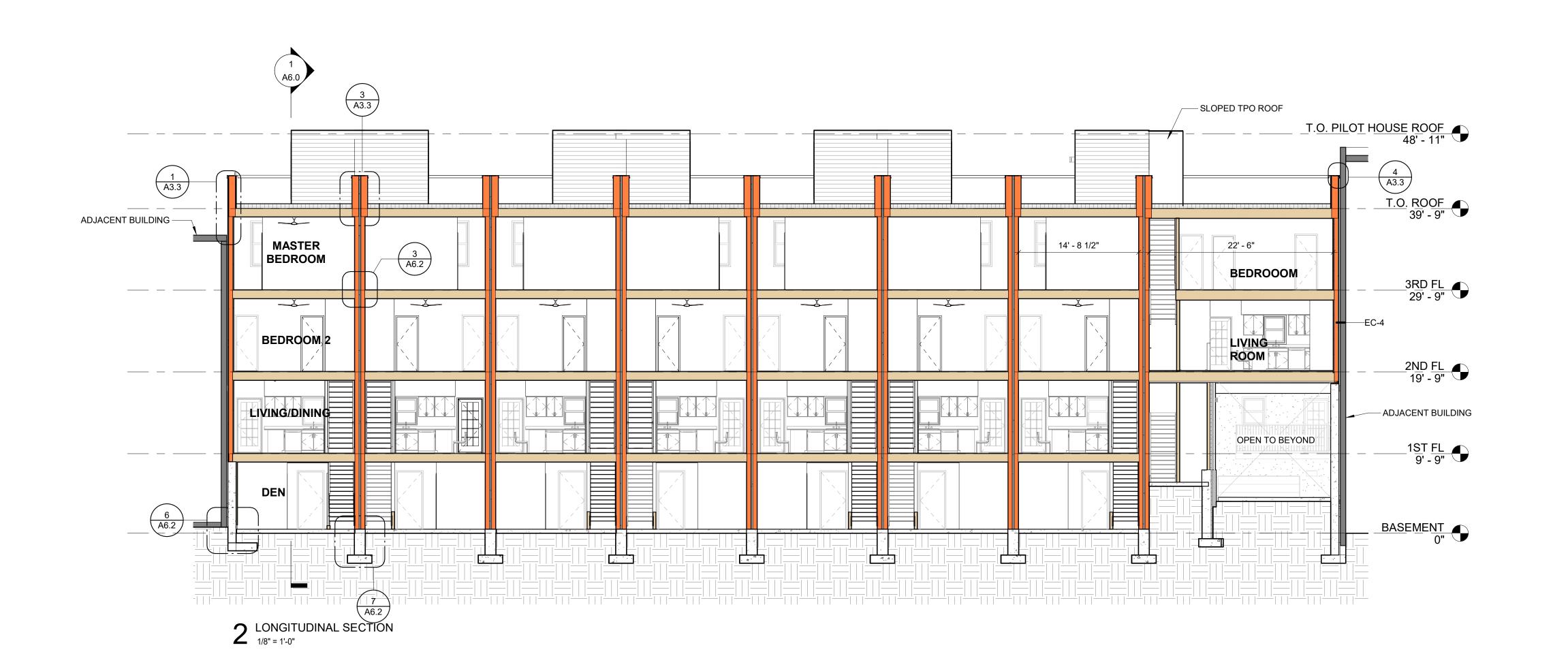
DRAWN BY: 09/11/20 | CHECKED BY: DF

SHEET NO.

PROJECT NO.

1915





EXTERIOR WALL LEGEND

REFERENCE PARTITION TYPES - EXT. ON A/9.0

EC-1B BRICK ON REINFORCED CONC.

EC-4 2-HR RATED WD STUD

EC-2A STUCCO ON WD STUD

EC-2B | STUCCO ON REINFORCED CONC

EC-3A | FIBER CEMENT SQUARE CHANNEL ON WD STUD

EC-3B | FIBER CEMENT LAP SIDING ON WD STUD

EC-1A BRICK ON WD STUD

EC-2C STUCCO ON 2-HR RATED WD STUD

SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

4593 MITCHELL ST, PHILADELPHIA, PA 19128

FAX 215-930-0484

PROJECT TEAM

215-483-1915

PROJECT NAME

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL
JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317

SYSTEMS BHG CONSULTING, INC 1812 SOUTH 22ND ST PHILADELPHIA, PA 19145

EXTON, PA 19341

610-254-9140

610-558-6050

215-755-9318 <u>CIVIL ENGINEER</u> MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104

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REVISIONS				
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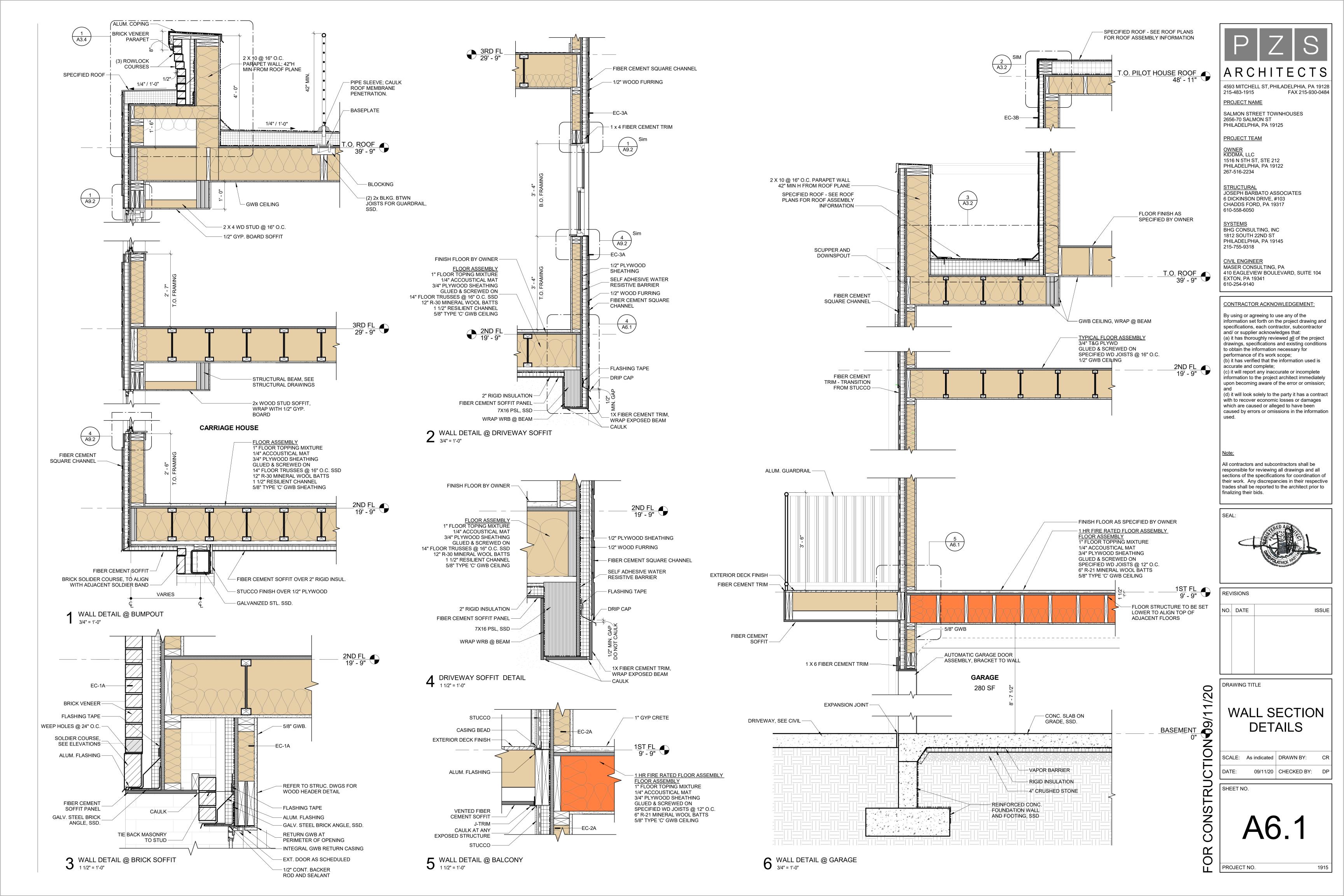
BUILDING SECTIONS

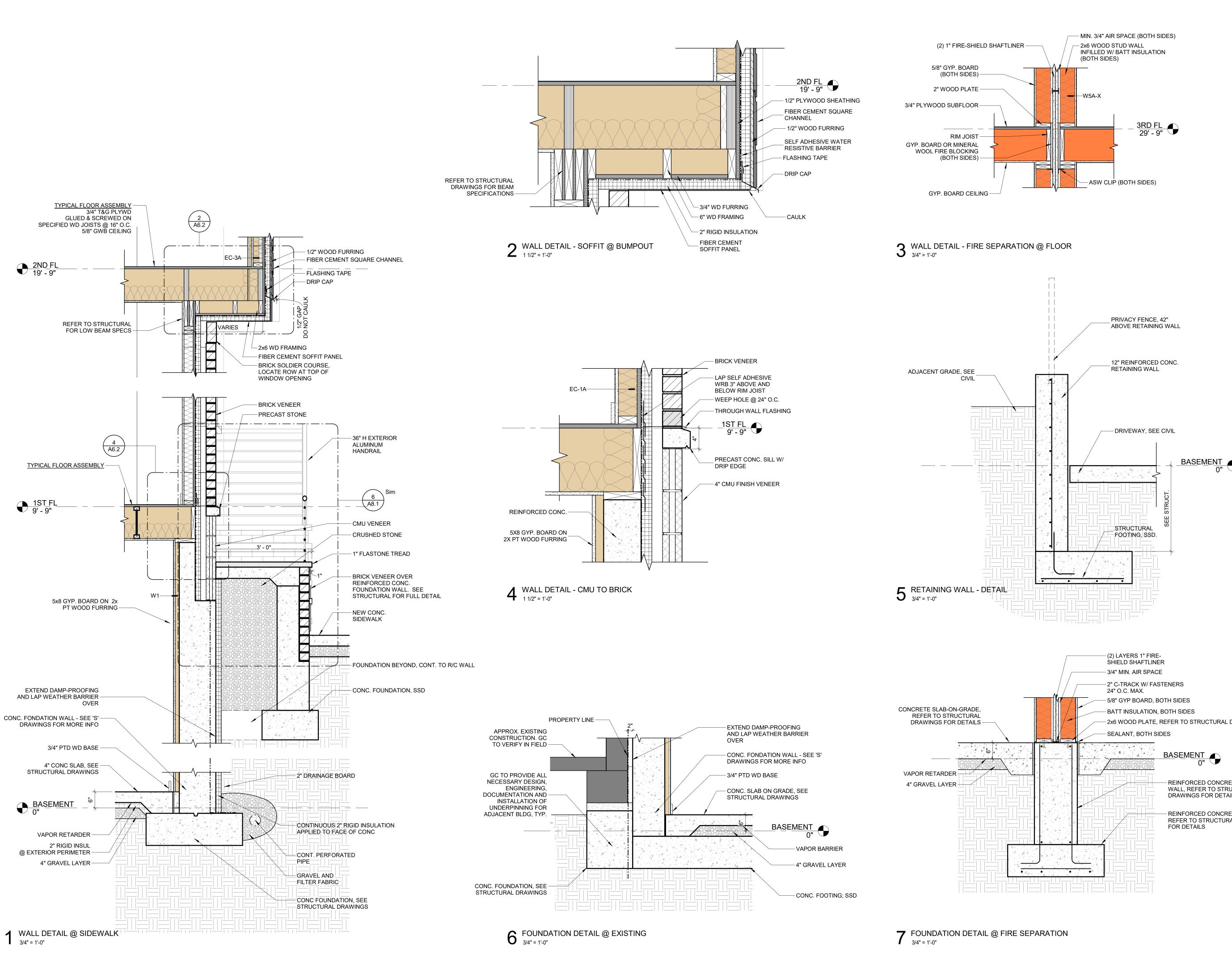
SCALE: As indicated DRAWN BY: 09/11/20 CHECKED BY:

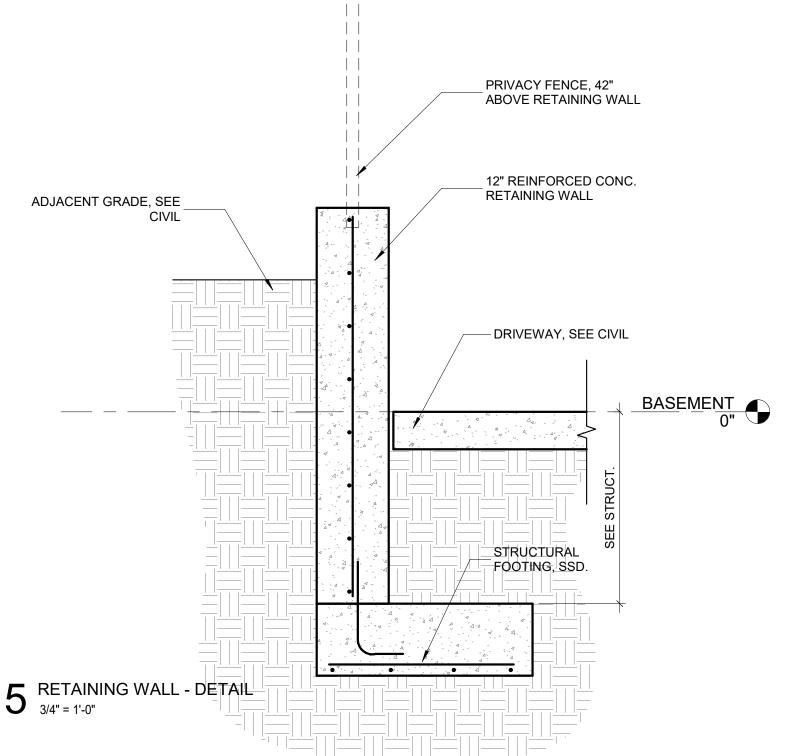
SHEET NO.

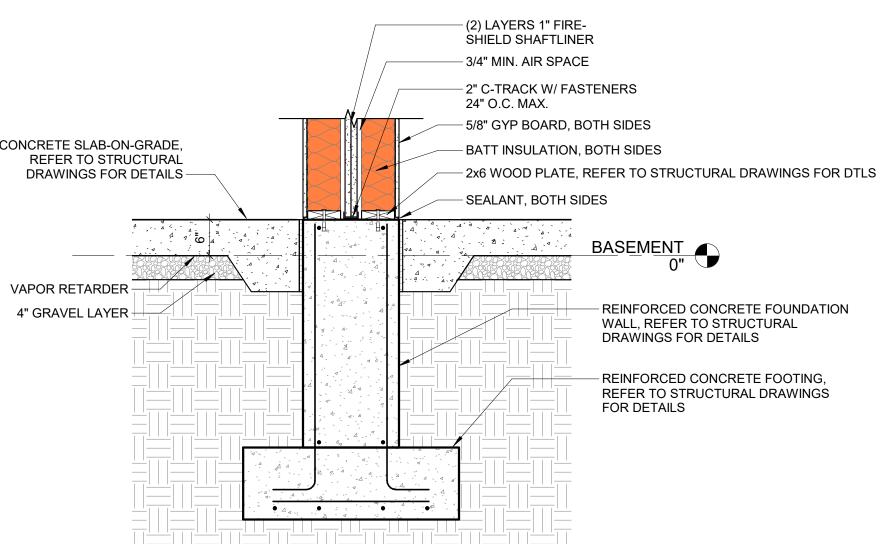
CONS

1915









4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484

> PROJECT NAME SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL JOSEPH BARBATO ASSOCIATES 6 DICKINSON DRIVE, #103 CHADDS FORD, PA 19317

610-558-6050 SYSTEMS BHG CONSULTING, INC

1812 SOUTH 22ND ST PHILADELPHIA, PA 19145 215-755-9318

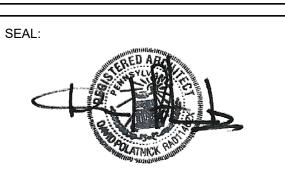
CIVIL ENGINEER MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

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REVISIONS				
SUE				

DRAWING TITLE

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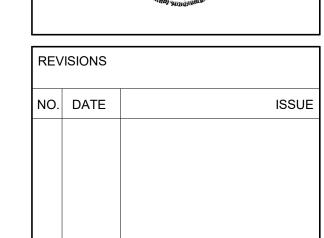
WALL SECTION **DETAILS**

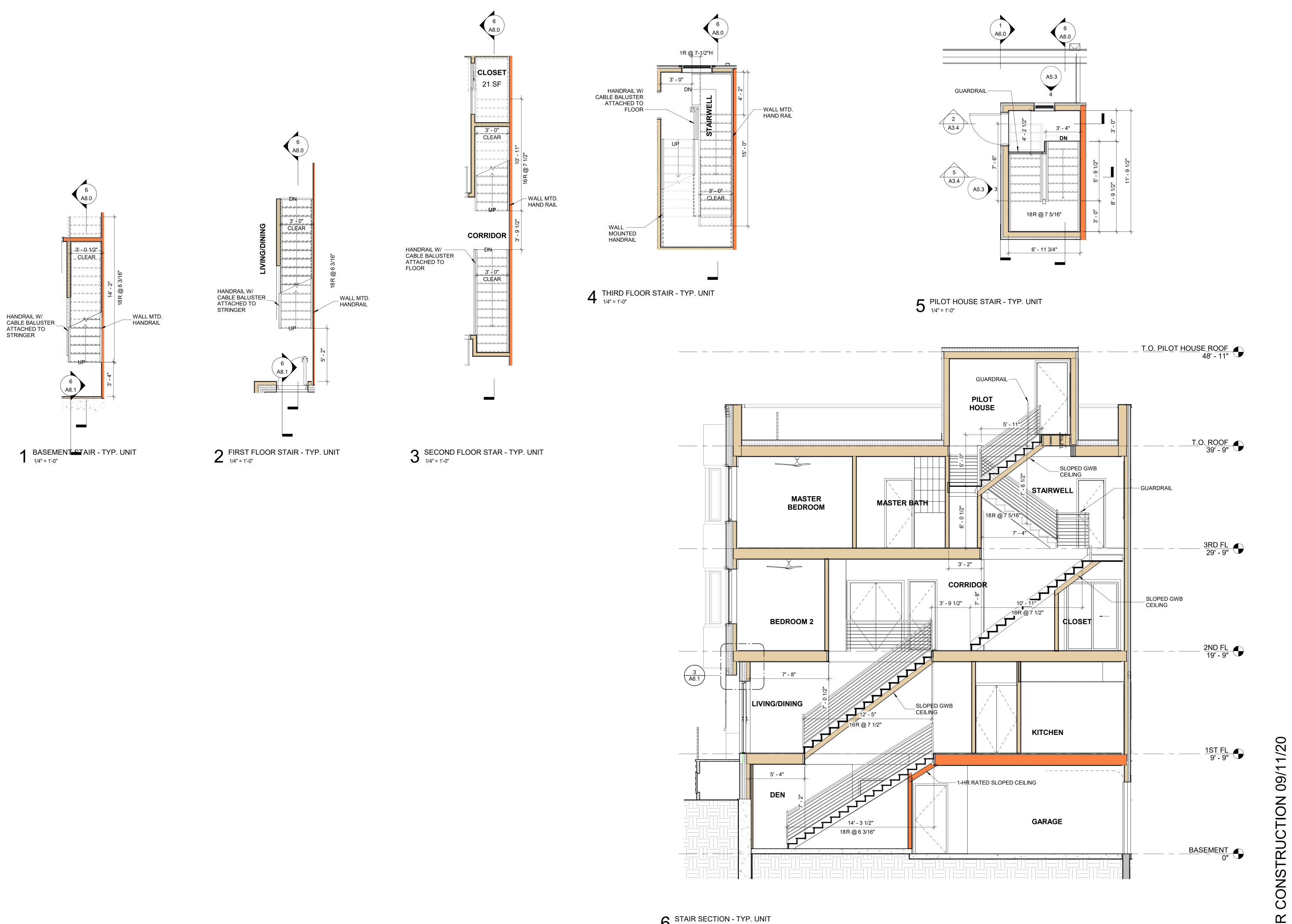
CALE: As indicated DRAWN BY: 09/11/20 | CHECKED BY: DI

SHEET NO.

1915







4593 MITCHELL ST, PHILADELPHIA, PA 19128 215-483-1915 FAX 215-930-0484 PROJECT NAME SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125 PROJECT TEAM OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234 STRUCTURAL
JOSEPH BARBATO ASSOCIATES
6 DICKINSON DRIVE, #103
CHADDS FORD, PA 19317
610-558-6050 SYSTEMS
BHG CONSULTING, INC
1812 SOUTH 22ND ST
PHILADELPHIA, PA 19145 215-755-9318 CIVIL ENGINEER

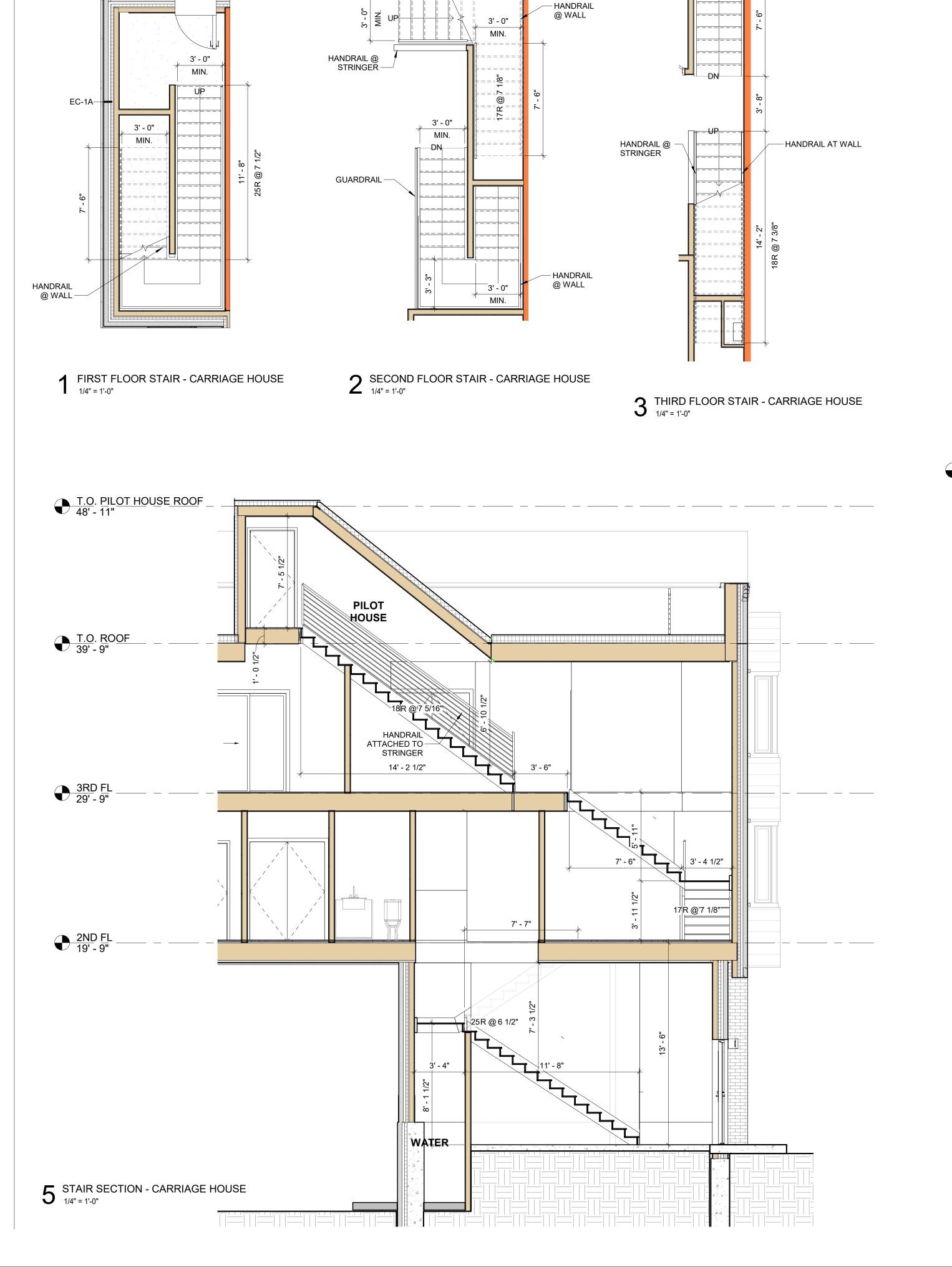
MASER CONSULTING, PA
410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140 CONTRACTOR ACKNOWLEDGEMENT: By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that:

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PROJECT NO.

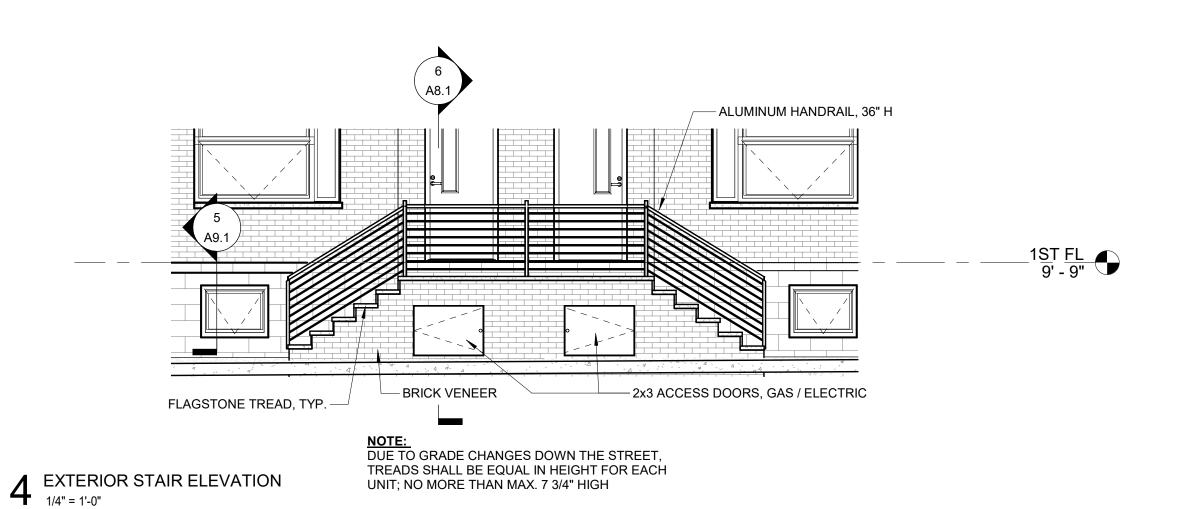
1915

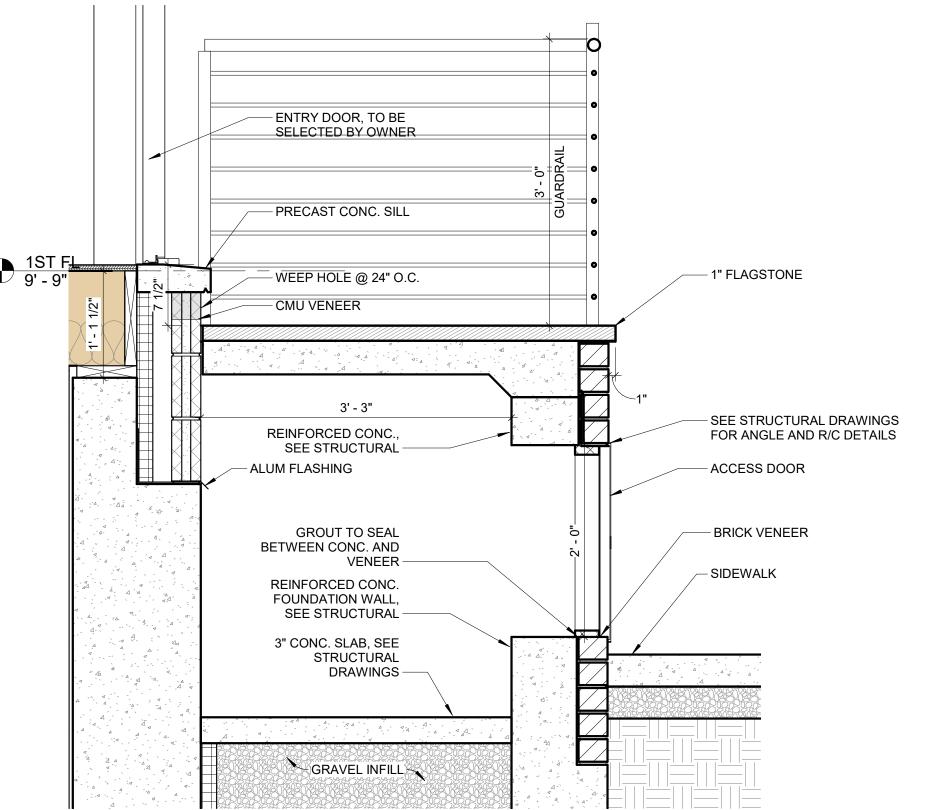
6 STAIR SECTION - TYP. UNIT 1/4" = 1'-0"

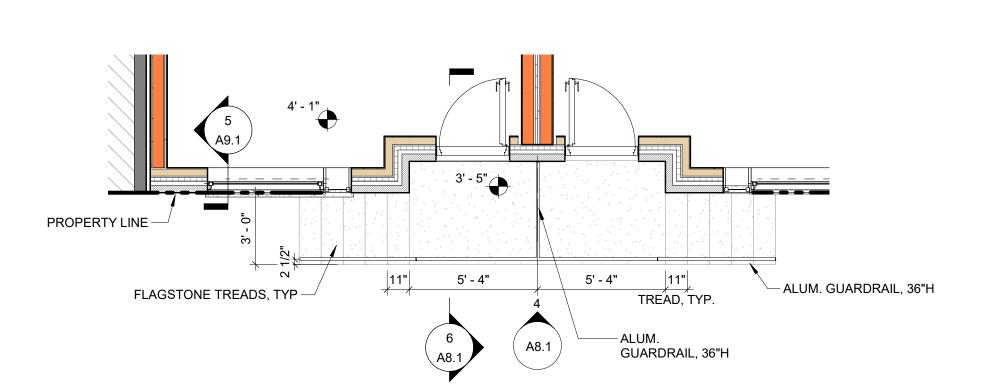


EC-1A

5' - 1"







7 EXTERIOR STAIR PLAN 1/4" = 1'-0"

6 EXTERIOR STAIR DETAIL 1" = 1'-0"

- HANDRAIL AT WALL



PROJECT NAME SALMON STREET TOWNHOUSES 2656-70 SALMON ST PHILADELPHIA, PA 19125

PROJECT TEAM

OWNER KIDDMA, LLC 1516 N 5TH ST, STE 212 PHILADELPHIA, PA 19122 267-516-2234

STRUCTURAL
JOSEPH BARBATO ASSOCIATES
6 DICKINSON DRIVE, #103
CHADDS FORD, PA 19317
610-558-6050

SYSTEMS
BHG CONSULTING, INC
1812 SOUTH 22ND ST
PHILADELPHIA, PA 19145

215-755-9318

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REVISIONS				
NO.	DATE	ISSUE		

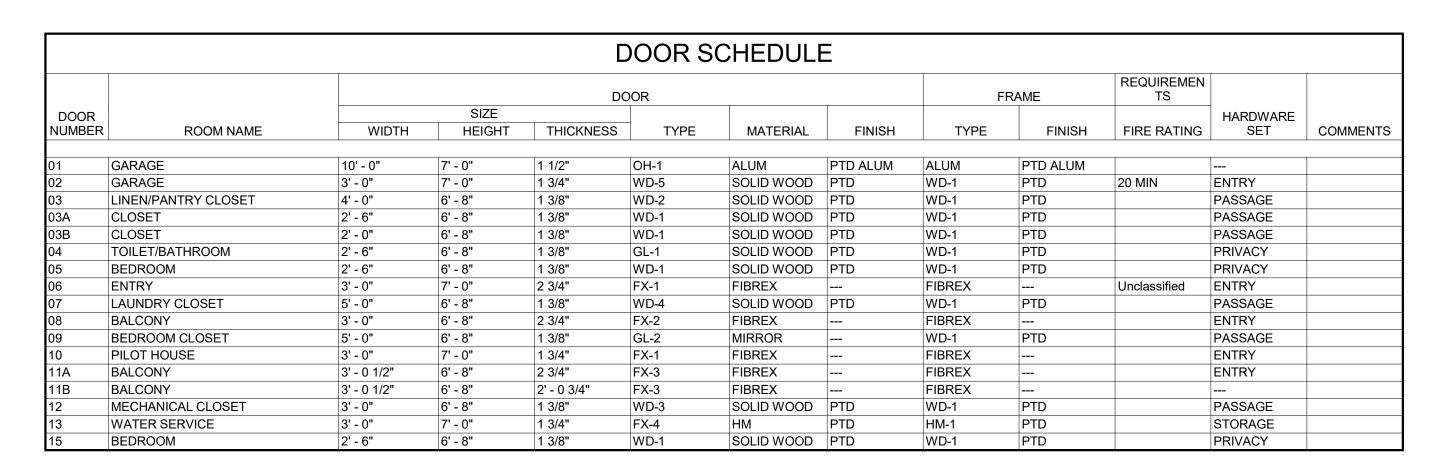
VERTICAL CIRCULATION -CARRIAGE

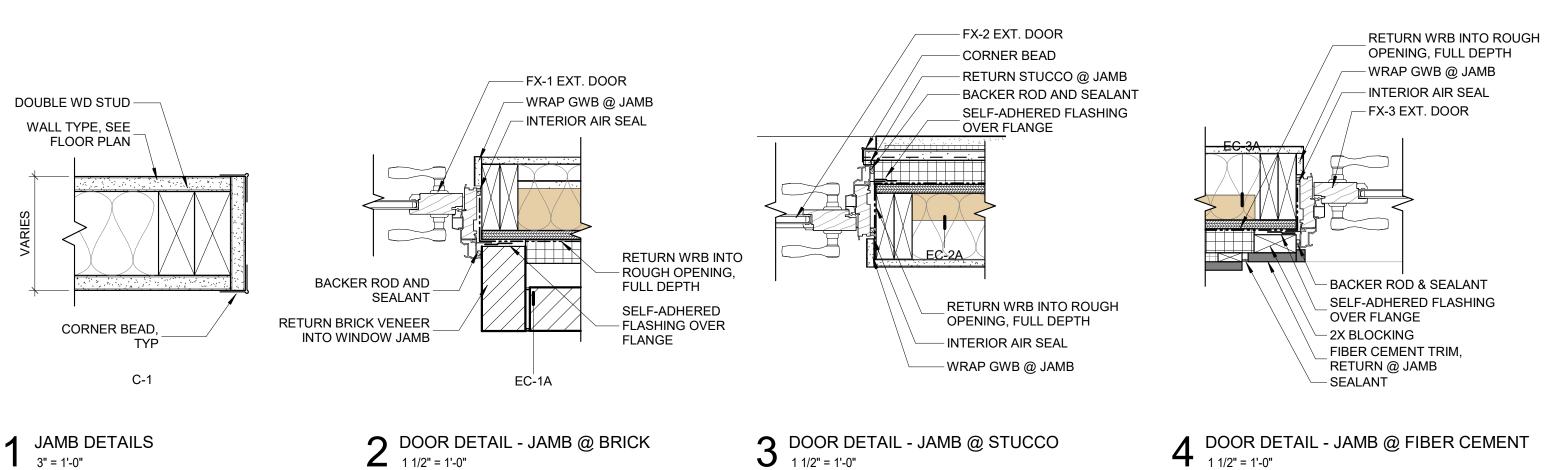
HOUSE & EXT.

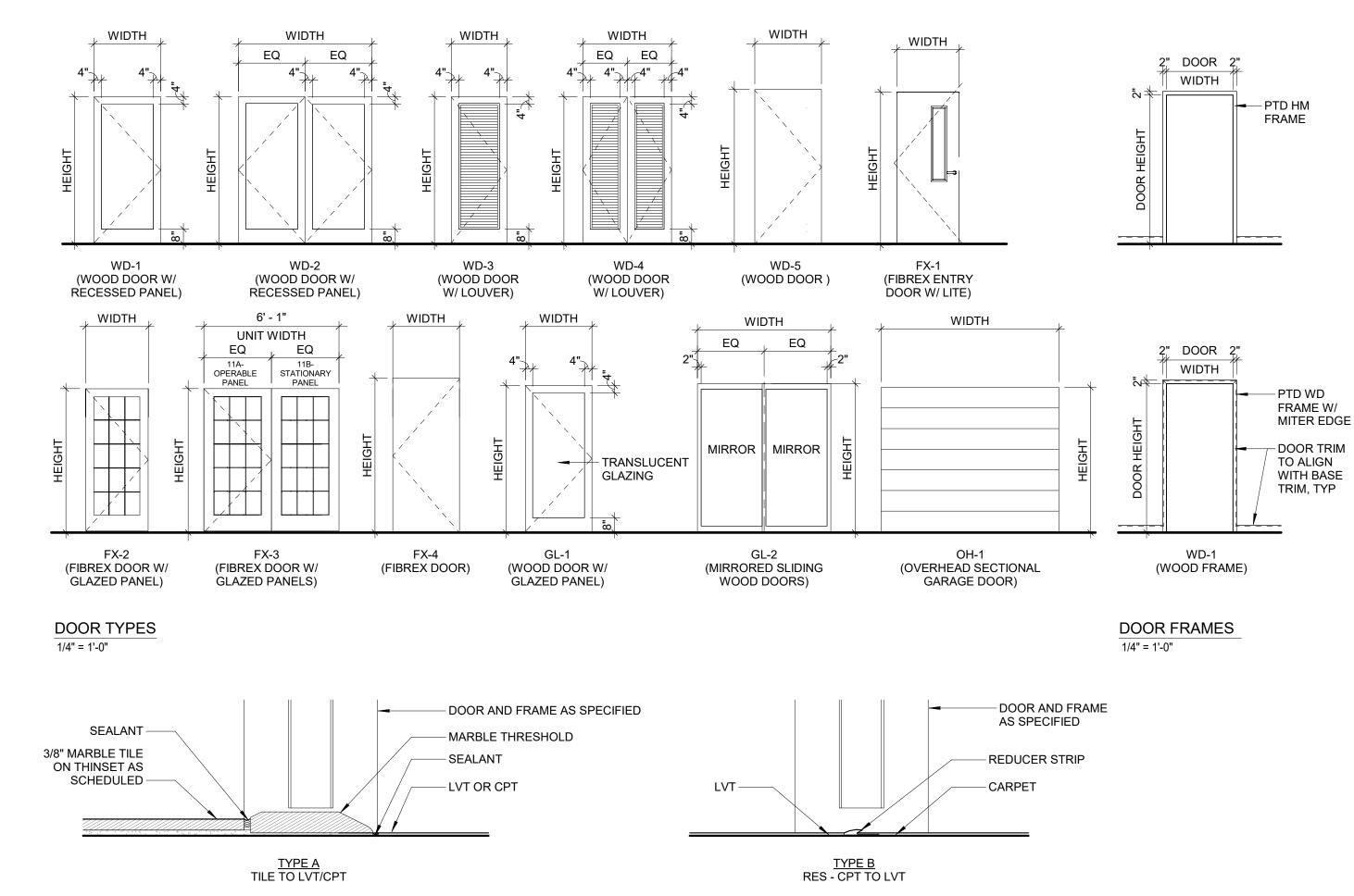
09/11/20 CHECKED BY: DI

SHEET NO.

1915







EXTERIOR WALL TYPES FIRE RATING: EC-1A | UL CLASSICATION: EC-2B | UL CLASSICATION: N/A EC-2C UL CLASSICATION: N/A EC-3A UL CLASSICATION: N/A EC-3B UL CLASSICATION: UL CLASSICATION: UL CLASSICATION: N/A **UL CLASSICATION:** STC RATING: REFER TO 1' - 0 1/2" REFER TO STRUCTURAL DRAWINGS STRUCTURAL DRAWINGS FIBER CEMENT HORIZONTAL BRICK OR FINISH CMU STUCCO FINISH STUCCO FINISH STUCCO FINISH SIDING INSTALLED PER MFR (SEE ELEVATION) FIBER CEMENT PANEL (FINISH COAT) (FINISH COAT) (FINISH COAT) **INSTRUCTIONS (B.O.D.: İNSTALLED PER MFR** SIDING INSTALLED PER HARDIE PLANK HORIZONTAL STUCCO FINISH -STUCCO FINISH STUCCO FINISH INSTRUCTIONS MFR INSTRUCTIONS SIDING, COLOR BY ARCH) (BASE COAT) (BASE COAT) (BASE COAT) (B.O.D.: HARDIE LOCK MASONRY ANCHOR MASONRY ANCHOR JOINT SQUARE CHANNEL. 1 1/4" MIN. OVERLAP TIE @ STUDS METAL LATH - METAL LATH - METAL LATH COLOR BY ARCH) (1/4" OFFSET) (1/4" OFFSET) (1/4" OFFSET) 2" AIR SPACE 2" AIR SPACE - R-5 RIGID 1/2" WOOD FURRING 2X6 WD STUD @ INSULATION* - 2" RIGID INSULATION R-5 RIGID R-5 RIGID R-5 RIGID 16" O.C. 2" RIGID INSULATION R-5 RIGID INSULATION* - WATER RESISTIVE INSULATION* INSULATION* MIN. R-20 BATT INSULATION* BARRIER - WATER RESISTIVE - WATER RESISTIVE WATER RESISTIVE WATER RESISTIVE INSULATION WATER RESISTIVE BARRIER BARRIER - 1/2" PLYWOOD BARRIER 1/2" METAL LATH BARRIER WATER RESISTIVE BARRIER SHEATHING 1/2" PLYWOOD BARRIER 1/2" PLYWOOD - 1/2" PLYWOOD (2) LAYER GWB-2x4 WD STUD @ - REINFORCED 2x4 WD STUD @ SHEATHING SHEATHING SHEATHING TYPE 'X' EACH SIDE 16" O.C.* CONCRETE WALL, 16" O.C.* REINFORCED 2X4 WD STUD @ REFER TO MIN. R-13 BATT 2X4 AT 16" O.C.* -2X4 AT 16" O.C.* CONCRETE WALL, - MIN. R-13 BATT 16" O.C.* STRUCTURAL **INSULATION*** REFER TO INSULATION* MIN. R-13 BATT MIN. R-13 BATT DRAWINGS - MIN. R-13 BATT STRUCTURAL 1/2" METAL LATH INSULATION* INSULATION* - 5/8" GWB INSULATION* DRAWINGS (2) LAYER GWB-5/8" GWB 5/8" GWB 5/8" GWB TYPE 'X' EACH SIDE **ALTERNATE DETAIL ALTERNATE DETAIL ALTERNATE DETAIL ALTERNATE DETAIL ALTERNATE DETAIL** *IF 2x6 STUDS ARE PROVIDED AT EXTERIOR, **DELETE** RIGID INSULATION LAYER PROVIDE MIN. R-20 BATT INSULATION IN BETWEEN STUDS **INSULATION IN BETWEEN STUDS** INSULATION IN BETWEEN STUDS INSULATION IN BETWEEN STUDS INSULATION IN BETWEEN STUDS

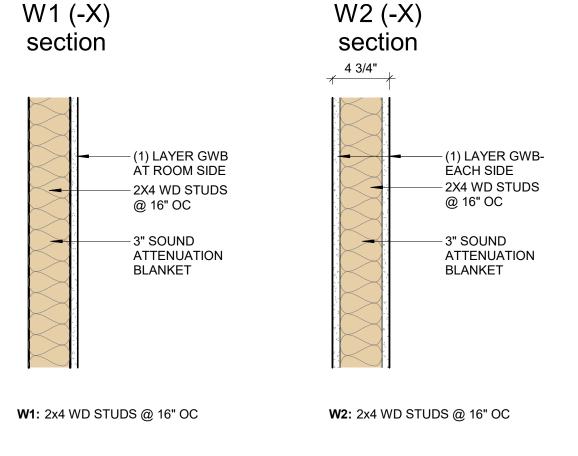
FLOOR TRANSITION THRESHOLD DETAILS

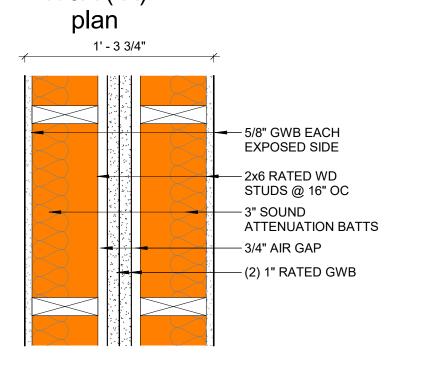
3" = 1'-0"

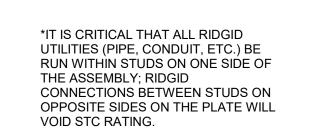
	INTERIOR PARTITION SCHEDULE					
TYPE	WIDTH	STC	FIRE RATING	UL N	IUMBER	COMMENTS
W1	2 1/8"					
W2	4 3/4"	38 STC W/ SOUND BATTS				
W2-X	4 3/4"	38 STC W/ SOUND BATTS	1-HR	UL U308		
W5A-X	1' - 3 3/4"	48 STC W/ SOUND BATTS	2-HR	UL U336		

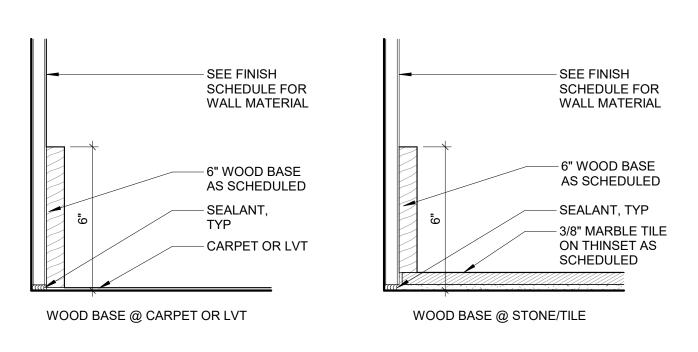
PARTITION TYPE NOTES:

- SEE SPEC SECTION 09 2118, 09 2216 AND 09 2900 FOR INFORMATION ON GYPSUM WALL ASSEMBLIES
- SEE SPEC SECTION 04 2000 FOR INFORMATION ON CONCRETE MASONRY UNIT ASSEMBLIES
- SEE SPEC SECTIONS 07 8413 AND 07 8446 FOR INFORMATION ON UL DESIGNS FOR FIRE RATED PARTITIONS, JOINT SYSTEMS, AND THROUGH PENETRATION FIRESTOPPING
- PROVIDE TYPE 'X' GWB WHERE REQ'D FOR FIRE RATING (DENOTED BY 'G_-X)
 SEE SHEET G0.3 FOR LOCATION OF FIRE RATED PARTITIONS
- SEE JOINT DETAILS, THIS SHEET, REQUIRED TO ACHIEVE FIRE RATINGS INDICATED ON PARTITION SCHEDULE
 ALL PARTITIONS MUST FIT TIGHT TO STRUCTURAL SLAB, DECK, OR PLANK, UON
- ALL PARTITIONS MUST FIT TIGHT TO STRUCTURAL SLAB, DECK, OR PLANK, UOI
 GWB IS 5/8", UON
- ALL TYPE 'X' GWB AT FIRE RATED PARTITIONS SHALL EXTEND TO UNDERSIDE OF DECK (METAL, CONCRETE, PLYWOOD, ETC.) UON.
- PROVIDE IMPACT RESISTANT GWB WHERE EXPOSED UNLESS NOTED OTHERWISE
 WHERE 2 LAYERS GWB INDICATED, PROVIDE IMPACT RESISTANT GWB AT OUTER LAYER ONLY
- WHERE FINISH SCHEDULE CALLS FOR A RECESSED BASE AT A RATED PARTITION, PROVIDE ADDITIONAL LAYER OF GWB
 PROVIDE MOISTURE AND MOLD RESISTANT GWB AT ALL BELOW GRADE LOCATIONS, BATHROOM

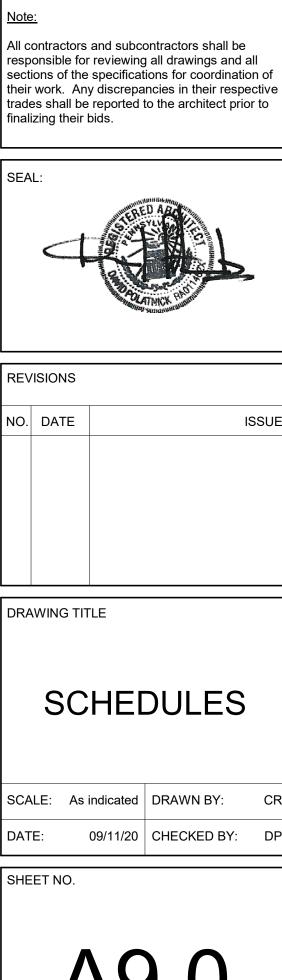












PROJECT NO.

1915

4593 MITCHELL ST, PHILADELPHIA, PA 19128

SALMON STREET TOWNHOUSES

FAX 215-930-0484

215-483-1915

PROJECT NAME

PROJECT TEAM

OWNER KIDDMA, LLC

267-516-2234

TRUCTURAL

610-558-6050

SYSTEMS

215-755-9318

CIVIL ENGINEER

EXTON, PA 19341 610-254-9140

2656-70 SALMON ST

PHILADELPHIA, PA 19125

1516 N 5TH ST, STE 212

PHILADELPHIA, PA 19122

CHADDS FORD, PA 19317

BHG CONSULTING, INC

PHILADELPHIA, PA 19145

MASER CONSULTING, PA

410 EAGLEVIEW BOULEVARD, SUITE 104

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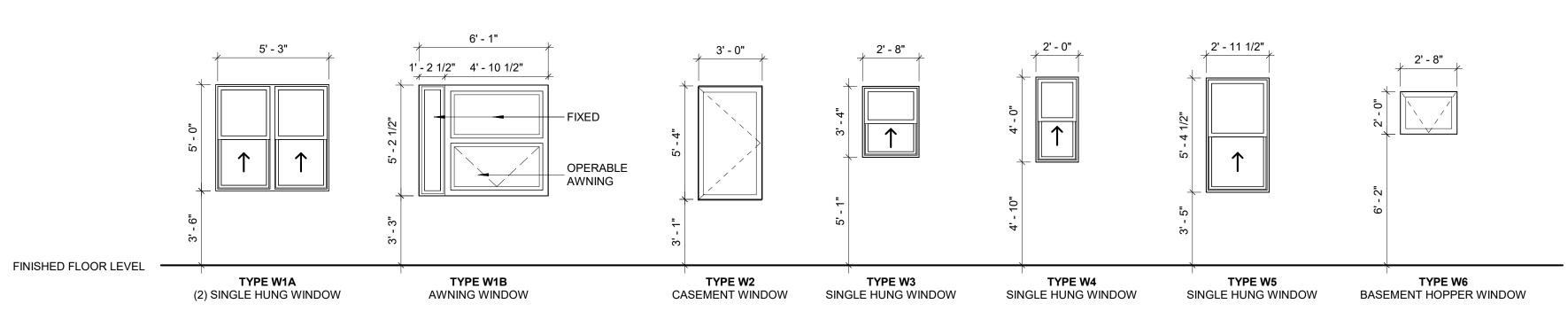
performance of it's work scope;

accurate and complete;

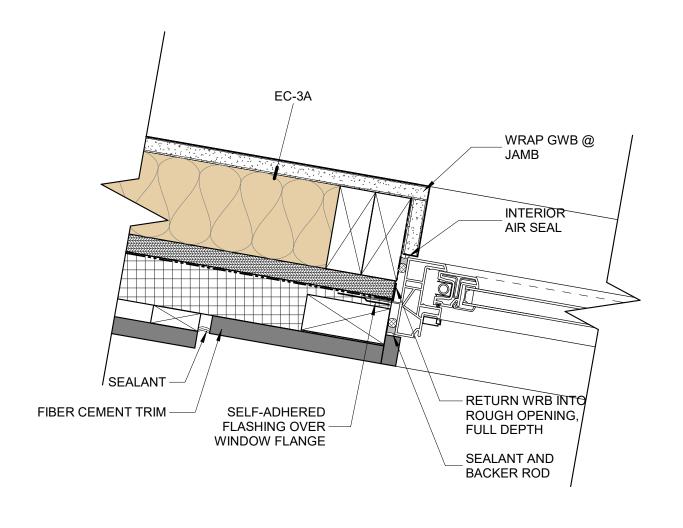
to obtain the information necessary for

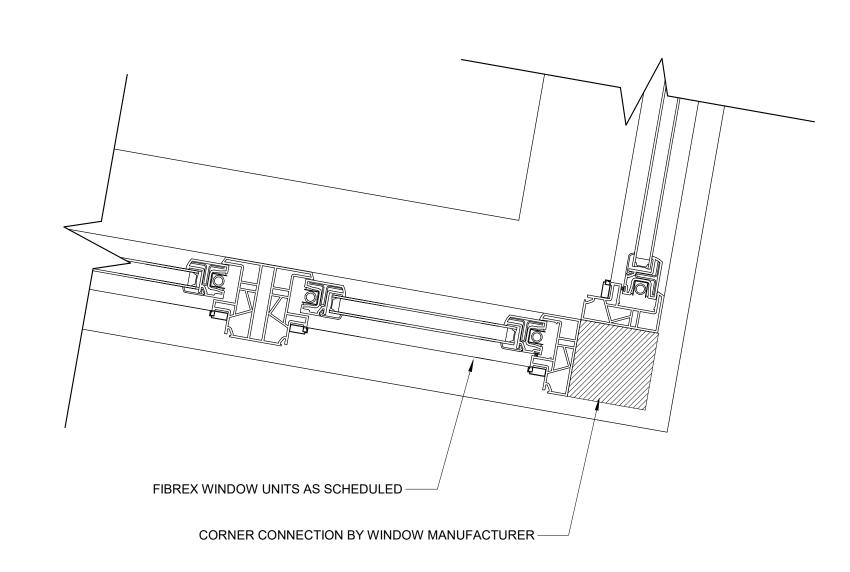
1812 SOUTH 22ND ST

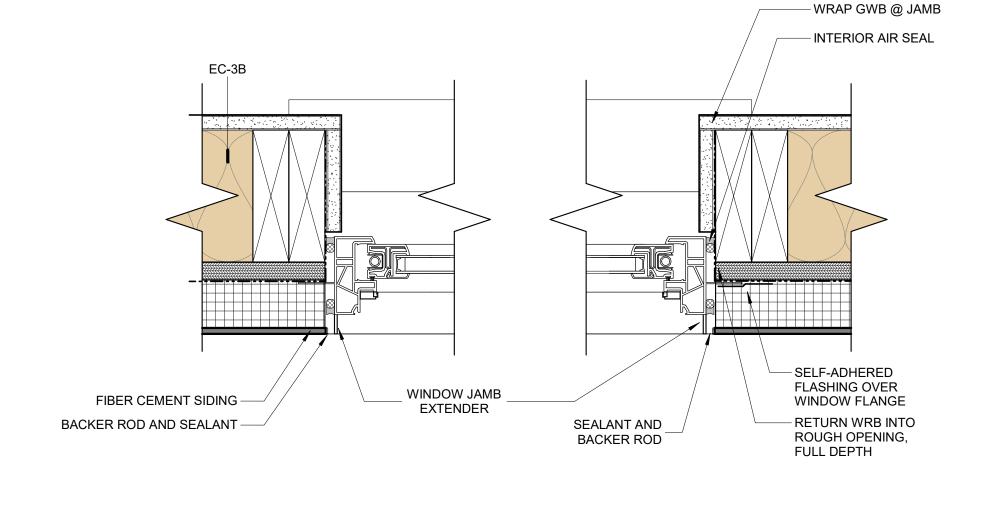
OSEPH BARBATO ASSOCIATES
DICKINSON DRIVE, #103



WINDOW TYPES 1/4" = 1'-0"



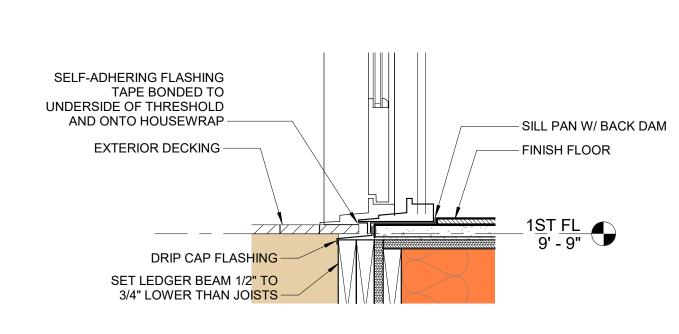




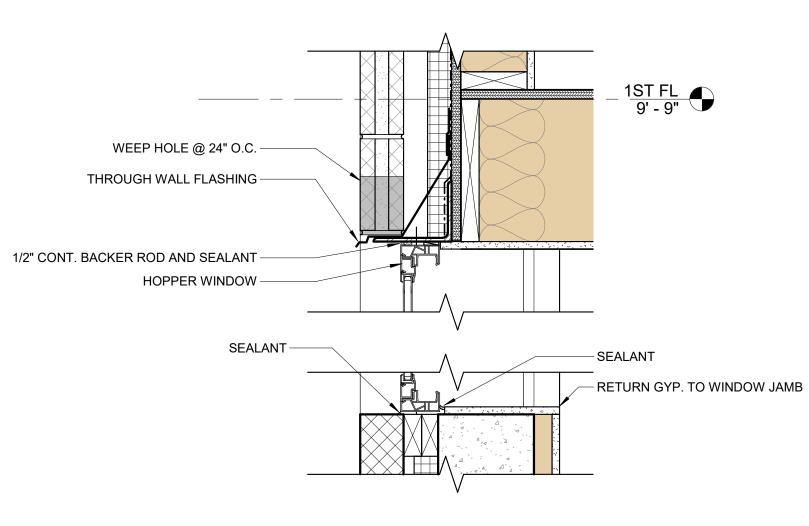
WINDOW DETAIL - JAMB @ BAY WINDOW 3" = 1'-0"

2 WINDOW DETAIL - INTERSECTION @ BAY WINDOW 3" = 1'-0"

3 ROOF DETAIL - WINDOW @ PILOT HOUSE 3" = 1'-0"



4 DOOR SILL @ DECK



5 WINDOW DETAIL - BASEMENT HOPPER 1 1/2" = 1'-0"

09/11/20 CONS

WINDOW **ELEVATIONS & DETAILS** SCALE: As indicated DRAWN BY: 09/11/20 CHECKED BY: DF SHEET NO.

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215-755-9318

<u>CIVIL ENGINEER</u> MASER CONSULTING, PA 410 EAGLEVIEW BOULEVARD, SUITE 104 EXTON, PA 19341 610-254-9140

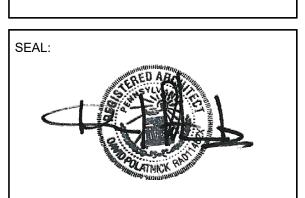
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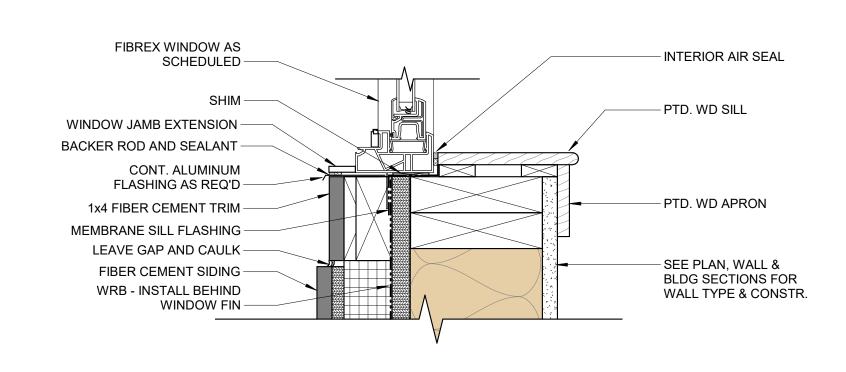
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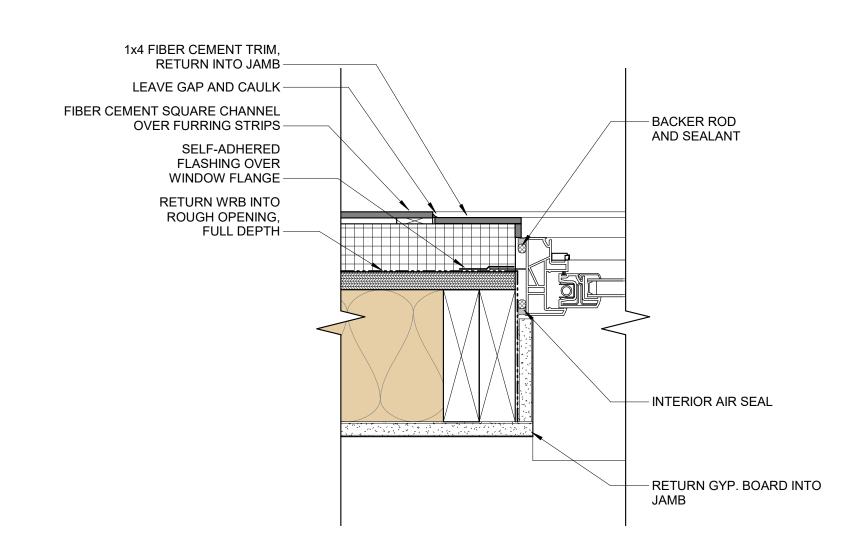
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NO.	DATE	ISSUE
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1915

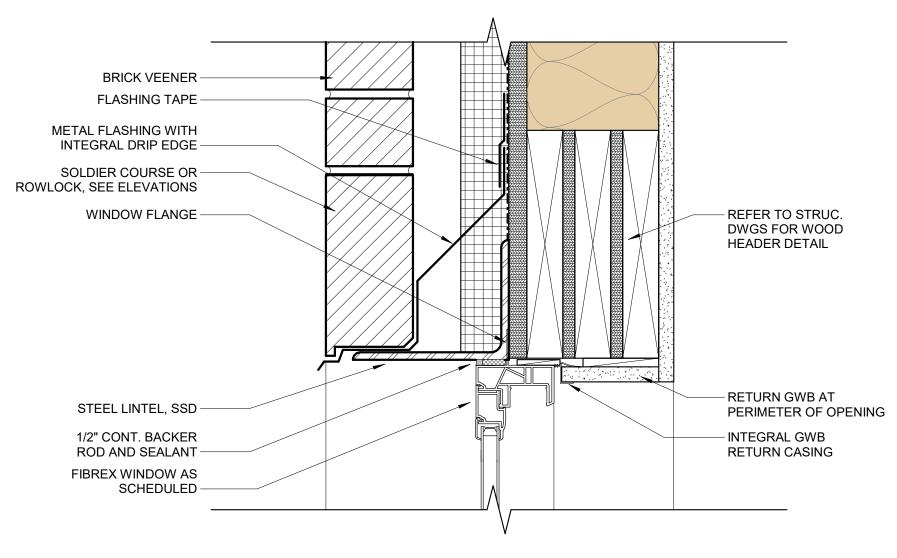
WINDOW DETAIL - HEAD @ FIBER CEMENT
3" = 1'-0"



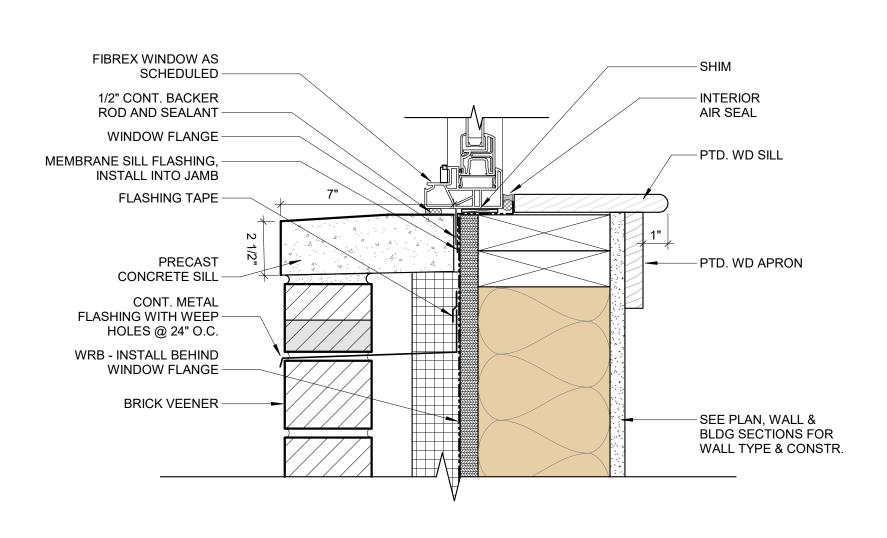
4 WINDOW DETAIL - SILL @ FIBER CEMENT 3" = 1'-0"



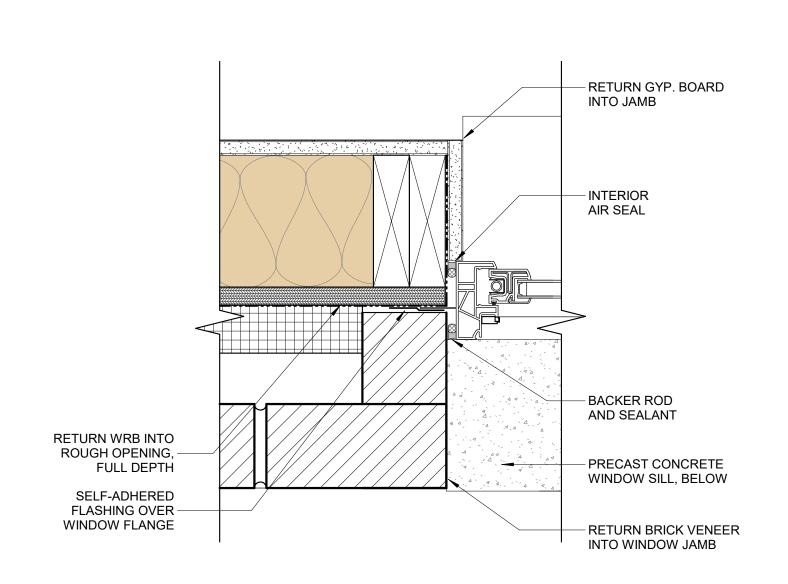
WINDOW DETAIL - JAMB @ FIBER CEMENT 3" = 1'-0"



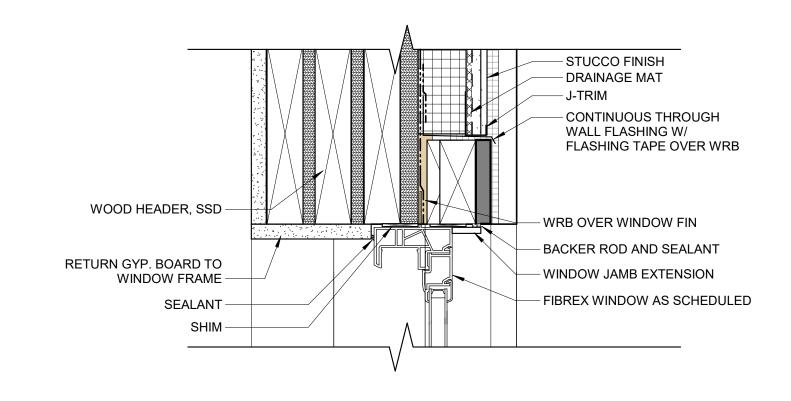
2 WINDOW DETAIL - HEAD @ BRICK 3" = 1'-0"



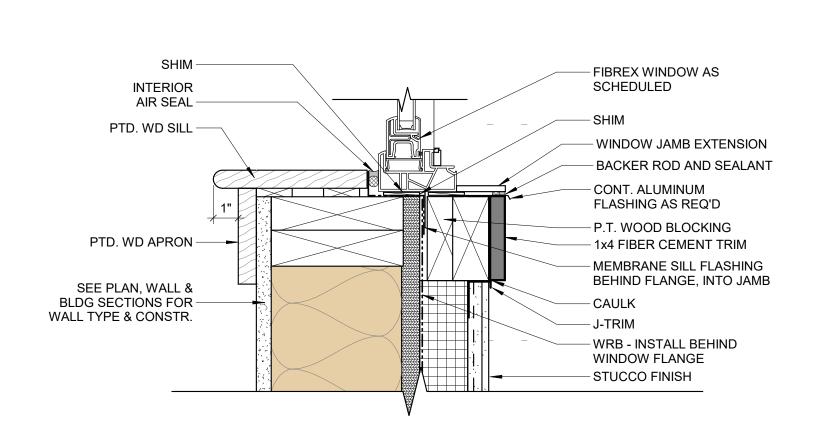
5 DETAIL - WINDOW SILL AT BRICK 3" = 1'-0"



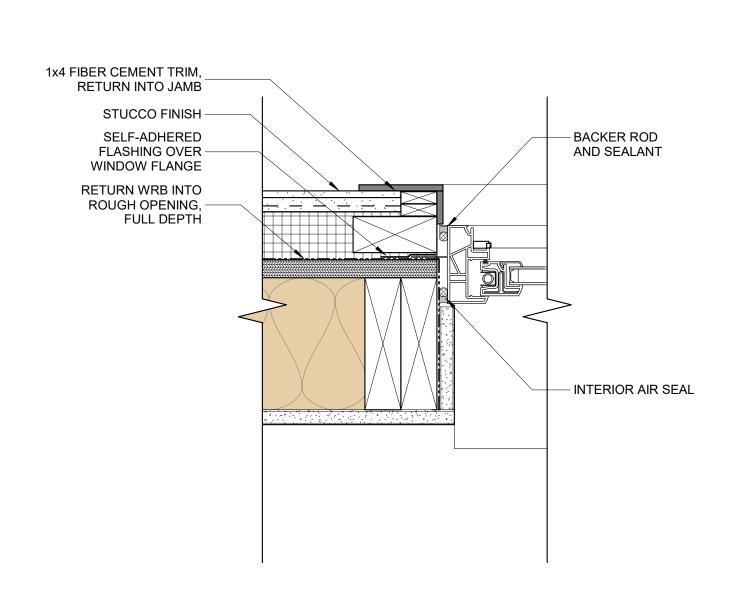
8 WINDOW DETAIL - JAMB @ BRICK 3" = 1'-0"



3 WINDOW DETAIL - HEAD @ STUCCO FINISH 3" = 1'-0"



6 WINDOW DETAIL - SILL @ STUCCO FINISH 3" = 1'-0"



9 WINDOW DETAIL - JAMB @ STUCCO



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CONTRACTOR ACKNOWLEDGEMENT:

By using or agreeing to use any of the information set forth on the project drawing and specifications, each contractor, subcontractor and/ or supplier acknowledges that:

(a) it has thoroughly reviewed all of the project drawings, specifications and existing conditions to obtain the information necessary for performance of it's work scope;

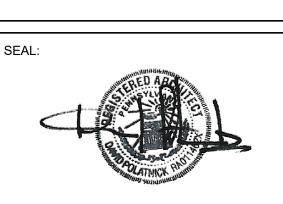
(b) it has verified that the information used is accurate and complete;

(c) it will report any inaccurate or incomplete information to the project architect immediately upon becoming aware of the error or omission; and

(d) it will look solely to the party it has a contract with to recover economic losses or damages which are caused or alleged to have been caused by errors or omissions in the information used.

Note:

All contractors and subcontractors shall be responsible for reviewing all drawings and all sections of the specifications for coordination of their work. Any discrepancies in their respective trades shall be reported to the architect prior to finalizing their bids.



REV	REVISIONS				
NO.	DATE	ISSUE			

WINDOW DETAILS

SCALE: 3" = 1'-0" DRAWN BY: CF

DATE: 09/11/20 CHECKED BY: DF

SHEET NO.

09/11/

CONS

A9.2